

**PORT OF OSWEGO**  
AUTHORITY



**Regular Meeting of the Board of Directors of the Port of Oswego Authority**

**Monday, December 18, 2023**

**4:30 pm Meeting**

**AGENDA**

**Regular Meeting**

- 1. Call to Order**
- 2. Motion 12-18-2301: To move to executive session for discussion on LT-5 grant issues and contracts/agreements with Port Counsel.**
- 3. Motion 12-18-2302: To resume regular session.**
- 4. Motion 12-18-2303: To approve the Minutes of the 11-20-2023 regular monthly meeting (Exhibit A).**
- 5. Administrative Operational Report: (Exhibit B)**
- 6. Administrative Financial Reports: (A) Primary and (B) Subsidiary**  
**Motion 12-18-2304: To accept November's Primary Financial Reports and Subsidiary Financial Reports.**
  - A. Primary Financial Reports: (Exhibit C-1)**
    - Cash Position
    - Balance Sheet
    - Profit & Loss Statement
    - Marina Profit & Loss Statement
  - B. Subsidiary Financial Reports: (Exhibit C-2)**
    - Monthly Bills
    - Accounts Payable
    - Accounts Receivable
    - Loan Summary
    - Schedule of Assets
    - Sales Report
- 7. Chairman's Report**

**MISSION STATEMENT**

The mission of the Port of Oswego Authority is to serve as an economic catalyst in the *Central New York Development Council District Region* by providing diversified and efficient transportation services and conducting operations in a manner that promotes regional growth and development while being mindful of our responsibility to serve as a steward of the environment.

8. **Committee Reports**
  - a. **Executive Committee**
  - b. **Audit and Finance Committee**
  - c. **Governance Committee**
  - d. **Planning and Development Committee**

9. **Old Business**

10. **New Business**

11. **AD HOC MOTIONS REQUIRED AS A RESULT OF MEETING BUSINESS:**

Motion 12-18-230 : To

Motion 12-18-230 : To

12. Motion 12-18-230 : To adjourn the regular monthly meeting.

**Next Regular Monthly Board Meeting is scheduled for  
Monday, January 8, 2024 @ 4:30pm**

#### MISSION STATEMENT

The mission of the Port of Oswego Authority is to serve as an economic catalyst in the *Central New York Development Council District Region* by providing diversified and efficient transportation services and conducting operations in a manner that promotes regional growth and development while being mindful of our responsibility to serve as a steward of the environment.

# Exhibit A

**PORT OF OSWEGO AUTHORITY**  
**Regular Monthly Meeting**  
**Monday, November 20, 2023**

**CALL TO ORDER:** Mr. Enwright called the meeting to order at 4:38 PM.

**PRESENT:** Francis Enwright - Chairperson, Constance Cosemento - Vice Chairperson; Dr. John Kares Smith, Stan Delia, Tom Schneider, Diane Zeller, Kathleen Macey, and William Scriber - Executive Director.

**ALSO PRESENT:** Pat McMahon - Supervisor of Development & Maintenance, Debbie Godden - Accounting Manager, Kim Natoli - Port Employee.

**ABSENT:** None.

**APPROVAL OF MINUTES**

**Motion 11-20-2301:** A motion was made by Dr. Kares Smith to approve the minutes of the October 23, 2023 regular monthly meeting. Motion was seconded by Mr. Delia. Motion passed. 7-Aye, 0-Nay.

**ADMINISTRATIVE OPERATIONAL REPORT**

Mr. Scriber, Executive Director, presented the Administrative Operational Report to the Board and addressed any questions or comments.

**Report Topics:**

Monthly operations update – October 2023

Update on projects:

- Meeting with new SUNY Oswego President – conversation was about expanding cooperation in working with the Port and planning a Port tour in the Spring.
- Oswego County Micron Strategy Committee – asked to serve on the committee; centers around transportation and logistics.
- Novelis Global Procurement – meeting with Govind Rajan; spoke about expanding global opportunities, inquiries on Novelis and the Port’s roles, and potential new customers.
- Aluminum wave – a vessel with approximately 16,650 pieces arriving during the week, with three more vessels scheduled to arrive by December 26<sup>th</sup>. The Port is exceeding its volume that it has had over the years, with possibly having the largest amount of aluminum on site. Several companies have been utilizing rail transportation due to last month’s St. Lawrence Seaway closure, with 101 railcars carrying aluminum coming to the Port to offload.
- Break-Wall Projects – contract 24-1 has been signed with Board approval, and currently working on contract 24-2, which is a phase contract and possibly storing some of the stone over the winter on site. Contract 24-2 may start next year, with storage into year 2025.
- Stormwater Pollution Protection Plan (SWPPP) – draft completed. Conference was held last week with members of the DEC and Mr. McMahon; went over the proposal.

- New York State Freight Plan, Freight Working Group Meeting – asked by the Governor’s office to serve on that committee, educating members on how the Port deals with large freight.
- Minority and Women Owned Business Enterprise (MWBE) – Confirmations of fiscal year 2022-2023 Utilization Data: 79%, which is in the top tier of the agencies and authorities in the state; Mr. Scriber acknowledged the work of Human Resources employee Ms. Meghan Wahrendorf on this.
- CenterState CEO 2023 Economic Champions Award – the award was received on November 16, 2023 with Board Member Mr. Tom Schneider attending.

**ADMINISTRATIVE FINANCIAL REPORTS**

**Motion 11-20-2302:** A motion was made by Mr. Schneider to accept the October financial reports as presented. Motion seconded by Ms. Cosemento. Motion passed. 7-Aye, 0-Nay.

**Primary Financial Reports**

- Cash Position
- Balance Sheet
- Profit & Loss Statement
- Marina Profit & Loss Statement

**Subsidiary Financial Reports**

- Monthly Bills
- Accounts payable
- Accounts Receivable
- Loan Summary
- Schedule of Assets
- Sales Report

**Chairman’s Report:** Mr. Enwright commented on the recent elections, being in contact with city officials, and moving forward with a positive Port of Oswego Authority-City of Oswego working relationship.

**COMMITTEE REPORTS:**

**Executive Committee:** No report per Ms. Cosemento.

**Audit and Finance Committee:** Mr. Schneider stated that the committee did not meet, however he commented on Mr. Scriber and him attending the CenterState CEO Economic Champions presentation and the award the Port received. Mr. Scriber explained that the award was based on the Port receiving the Pacesetter Award, the increased overall tonnage the Port handled, and the results of the economic impact study that was completed earlier this year.

Mr. Schneider also stated that he was making small changes to the employee compensatory policy and will forward those to Port counsel when complete.

**Governance Committee:** Dr. Kares Smith reiterated that he was pleased with delaying the discussion and possible voting on employee compensatory issues, as he did in the October monthly meeting.

Dr. Kares Smith also reviewed the Summary of the Confidential Evaluation of Board Performance evaluations, which is to be completed annually. The evaluation appears to be positive. The evaluation reveals that Board Members feel confident to perform their professional duties. Dr. Kares Smith highlighted that less than full agreement that Board Members are always consistent with Port of Oswego Authority's mission, all Board members communicate effectively with Port of Oswego staff, and lastly that the Board set clear and measurable performance goals so to that the Port accomplishes its missions. Dr. Kares Smith stated that the evaluation indicated that all Board members view themselves and others as competent, professional, responsible, decisive, and well-informed.

Ms. Cosemento stated that future Board member candidates could be invited to meetings to get them familiar with the Port of Oswego Authority.

Mr. Enwright agreed with Ms. Cosemento, and would be willing to work with new Board members in the future to prepare them and assist them to facilitate the whole Board moving forward with their vision and duties.

Mr. Schneider stated that the Board needs to be cognizant of, in mind with reviewing Board evaluations, that a large amount of time is spent on the projects and property management of the Port Authority, however the core revenue of the Port is storage, dockage, wharfage, stevedoring and the Board should spend more time understanding the core business and not concentrate on the periphery elements of the business.

Mr. Scriber commented on possibly holding a Board retreat next year, with the purpose of goal-setting, revising the Comprehensive Plan (Vision 2030 Plan), and possibly re-focusing efforts with new funding sources and new businesses.

Dr. Kares Smith closed the discussion by stating that the Board members are present at the Port for their judgment, maturity, and fiduciary responsibilities.

**Planning and Development Committee:** Ms. Macey commented that the Planning and Development Committee has been speaking of getting together with the new Oswego City mayor and councilors, and talk about and show them what the Port is about; Mr. Enwright stated that they would form an advisory board with the City, to include councilors from the 1<sup>st</sup>, 2<sup>nd</sup>, and 3<sup>rd</sup> wards, however would let the City decide who would be appointed to the proposed advisory board. A meeting will be planned prior to the end of the year.

**OLD BUSINESS:**

None.

**NEW BUSINESS:**

None.

**EXECUTIVE SESSION**

**Motion 11-20-2303:** A motion was made by Ms. Zeller to move to executive session to discuss a service agreement. Mr. Delia seconded the motion at 5:20 PM. Motion passed. 7-Aye, 0-Nay. Executive session ended at 5:32 PM.

A motion was made by Ms. Zeller to resume the regular monthly meeting at 5:32 PM. Motion seconded by Ms. Macey. Motion passed. 7-Aye, 0-Nay.

**Motion 11-20-2304:** A motion was made by Ms. Cosemento to approve the LOGISTEC USA, INC. – Port of Oswego Authority Service Agreement and authorize the Executive Director to sign and complete any and all paperwork. Motion seconded by Mr. Delia. Motion passed. 7-Aye, 0-Nay.

**DISCUSSION**

Ms. Cosemento initiated a brief discussion about the water depths near the docks at the west-side Goble Marina. She had a concern about a large boulder in the channel going into the docks; she brought up the idea of possibly mapping out or measuring the water levels to prevent the Port from being liable for possible boat damage due to the shallow water levels and possible unseen hazards. Ms. Cosemento spoke about the concept of placing markers or buoys in the areas of concern.

**ADJOURNMENT**

**Motion 11-20-2305:** A motion was made by Ms. Zeller and seconded by Dr. Kares Smith to adjourn the regular monthly meeting at 5:40 PM. Motion passed. 7-Aye, 0-Nay.

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Kathleen Macey, Secretary/Treasurer

# Exhibit B





# **Administrative and Operations Report**

## ***December 2023***

**William W. Scriber, Executive Director**

- Monthly (November 2023) operations update – see attached
- Aluminium – record offloading this year
- Vessels/Barges – two (2) more vessels and one (1) barge
- Railcars – 430 railcars into the Port this year
- SWPPP is complete
- Representatives from Senator Schumer/Gillibrand office – Zoom meeting
- C&S report on Goble Marina

TO: BOARD OF DIRECTORS  
 FROM: George Lloyd  
 SUBJECT: November 2023  
 Activity Report

Totals						
	# In	# Out	Total # In/Out	MT In	MT Out	Total MT In/Out
Trucks	225	137	362	6186.278	4351.771	10538.049
Railcars	52	0	52	4908.375	0.000	4908.375
Vessels	3	0	3	27487.530	0.000	27487.530
<b>Grand Totals</b>	<b>280</b>	<b>137</b>	<b>417</b>	<b>38582.183</b>	<b>4351.771</b>	<b>42933.954</b>

	Company	ST	MT	In/Out	Mode	#
Potash	Nutrien Ag Solutions	0.00	0.000	Inbound	Vessel	0
	Nutrien Ag Solutions	0.00	0.000	Inbound	Railcar	0
	Nutrien Ag Solutions	1224.52	1110.865	Outbound	Trucks	34
Grain	Anderson's Soybeans	6819.21	6186.278	Inbound	Trucks	225
	Anderson's Soybeans	0.00	0.000	Inbound	Railcar	0
	Anderson's Soybeans	0.00	0.000	Outbound	Trucks	0
	Anderson's Soybeans	0.00	0.000	Outbound	Railcar	0
	Anderson's Soybeans	0.00	0.000	Outbound	Vessel	0
	Anderson's Corn	0.00	0.000	Inbound	Trucks	0
	Anderson's Corn	0.00	0.000	Inbound	Railcar	0
	Anderson's Corn	0.00	0.000	Outbound	Trucks	0
	Anderson's Corn	0.00	0.000	Outbound	Railcar	0
	Anderson's Corn	0.00	0.000	Outbound	Vessel	0
Aluminum	Marubeni	3305.28	2998.533	Inbound	Vessel	2
	Marubeni	0.00	0.000	Inbound	Railcar	0
	Marubeni	2425.51	2200.384	Outbound	Trucks	68
	Trafigura	0.00	0.000	Inbound	Vessel	0
	Trafigura	0.00	0.000	Inbound	Trucks	0
	Trafigura	0.00	0.000	Inbound	Railcar	0
	Trafigura	0.00	0.000	Outbound	Trucks	0
	Glencore	4682.12	4247.590	Inbound	Vessel	2
	Glencore	323.26	293.256	Outbound	Trucks	9
	Glencore	1233.21	1118.759	Inbound	Railcar	12
	Glencore	0.00	0.000	Inbound	Trucks	0
	Goldman	2479.22	2249.131	Inbound	Vessel	1
	Goldman	0.00	0.000	Inbound	Railcar	0
	Goldman	0.00	0.000	Inbound	Trucks	0
	Goldman	356.02	322.976	Outbound	Trucks	11
	Goldman	0.00	0.000	Outbound	Railcar	0
	Concord	0.00	0.000	Inbound	Vessel	0
	Concord	0.00	0.000	Outbound	Trucks	0
	Concord	0.00	0.000	Outbound	Railcar	0
	Concord	0.00	0.000	Inbound	Railcar	0
Concord	0.00	0.000	Inbound	Trucks	0	
IXM	12121.04	10996.134	Inbound	Vessel	2	
IXM	0.00	0.000	Inbound	Trucks	0	
IXM	0.00	0.000	Inbound	Railcar	0	

	IXM	403.60	366.139	Outbound	Trucks	12
	Mitsubishi	0.00	0.000	Outbound	Trucks	0
	Mitsubishi	0.00	0.000	Inbound	Trucks	0
	Mitsubishi	0.00	0.000	Inbound	Vessel	0
	Mitsubishi	0.00	0.000	Inbound	Railcar	0
	Mercuria	7711.85	6996.142	Inbound	Vessel	2
	Mercuria	0.00	0.000	Inbound	Trucks	0
	Mercuria	0.00	0.000	Outbound	Trucks	0
	Mercuria	0.00	0.000	Outbound	Railcar	0
	Mercuria	4177.29	3789.616	Inbound	Railcar	40
	Alcoa	0.00	0.000	Inbound	Vessel	0
	Novelis Ingots	0.00	0.000	Inbound	Vessel	0
	Novelis Ingots	64.10	58.150	Outbound	Trucks	3
	Novelis Ingots	0.00	0.000	Inbound	Railcar	0
	Novelis Transfer Loads	0.00	0.000	Outbound	Trucks	0
Dean Marine Rock/Stone	Rock/Stone	0.00	0.000	Inbound	Railcar	0



**C&S Companies**  
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Syracuse, NY 13212  
p: (315) 455-2000  
www.cscos.com

December 18, 2023

Re: Goble Marina Project Status Update for 12/18/2023 POA Board Meeting

File: 301.030.002

To the Port of Oswego Board of Directors,

The Goble Marina is nearing completion with construction estimated to be completed by the end of May, 2024 in time for the 2024 recreational boating season. The following provides an update on the project's status and detailed information regarding several aspects as it has evolved. Of everything described below, I encourage everyone to please provide me with the final direction for the bath house and pavilion renovations so the project can be advertised and constructed before the start of the upcoming boating season. If there are any questions or anything that warrants further discussion, please do not hesitate to contact me.

Sincerely,

C&S Engineers, Inc.

A handwritten signature in black ink that reads 'Carl W. Rode'.

Carl W. Rode, PE  
*Department Manager*

### **Project Schedule:**

- Engineering design and environmental permitting started in Winter/Spring 2020.
- Design and permitting completed by Spring 2021.
- Channel widening work began in Summer 2021. Completed in November 2021 (self-performed by Port with Shark Welding)
- Site work bid twice, Fall 2021 and Spring 2022. Remainder of 2022 consumed with seeking approval from NYS ESD to accept Contractor's M/WBE Plan and Good Faith Effort Documentation. Contract awarded in early 2023.
- Advertisement for dock materials issued in early Fall 2022. Plan was for Port Staff to construct docks during winter months. No bidders for materials & Port Staff did not have time to construct docks.
- Site Work, including new electrical service performed and completed in 2023.
- Change orders issued to Contractor to provide and install docks including spud piles. Completed Fall 2023
- Bath house renovation design began in Summer 2023. Design completed in Fall of 2023.  
**Currently waiting for approval from the Port's Board in order to advertise. If approval granted by end of year (12/31), schedule below is representative, otherwise construction will not likely be completed before the summer boating season begins around the end of May.**
  - Need to begin advertisement in early January (mid-January at the latest).
  - Bids received by mid-February
  - Award made by late February to early March
  - Contract executed by mid to late March
  - Contractor begins work beginning of April
  - Construction complete in May
- Port to complete a few remaining items listed below under "Work Remaining to be Completed."
- Project estimated to be completed by May 31, 2024.

### **Project Budget:**

- See attached "Project Budget Summary." The project is currently projected to come in at budget despite all of the challenges encountered to date.
- Fixed budget amount established and included in the REDI program agreement between Port and NYS
- REDI provided \$1,750,486.85. The Port is responsible for covering a 5% share of this amount.
- \$363,076.00 of additional funds were re-assigned with permission from NYSDOT from PFRAP grant funds remaining from another project; needed to cover cost escalations related to Covid and the economy. The Port is responsible for covering a 5% share of this amount.
- **The total project budget is \$2,113,562.85. Any project overruns or changes to the project scope from what is included in the REDI agreement are not reimbursable through the REDI program or the additional PFRAP grant funds. They are 100% the Port's responsibility.**

- The project was strategically scoped to include Port performed work to complete the excavation and dredging work needed to widen the existing dry dock area. Contractor pricing for this work was estimated to have required the entire project budget to complete, leaving no money for anything else.
- Blasting (dynamite) of underlying rock to remove rock to widen and deepen the existing dry dock is not a practical solution. It requires a lot of permitting and coordination, and generally is not used in urban area like this. The cost will be very expensive and likely would have consumed the entire project budget just to complete the blasting operation with little to none of the displaced rock being able to be removed off site.

### **Work Remaining to be Completed:**

- See attached "Project Budget Summary" which includes list of work remaining to be completed and estimated costs. Below is additional details about remaining work items.
- **Bathhouse and Pavilion Renovation/Betterments**
  - **Waiting for Port's Board approval before advertising**
  - **Needs to be advertised for construction in early to mid January 2024 in order to have best chance of it being completed before this summer's boating season begins around the end of May.**
- Municipal Waterline Meter Pit & Reduced Pressure Zone (RPZ) Backflow Preventer
  - WD Malone to complete in Spring 2024
  - Need to complete application and submit to City for approval
- East Dock Pedestal Installation
  - Pedestals have been delivered and are in storage at the Port
  - Port Staff to complete installation in Spring 2024
- East Dock Pedestal Electrical Wiring
  - Port to acquire wire and connectors
  - Port Staff to complete installation in Spring 2024
- East Dock Pedestal Waterline
  - Port to acquire PEX tubing and fittings
  - Port Staff to complete installation in Spring 2024
- West Side Dock Stability Modifications
  - Port to fabricate and install alternate tubular sleeve brackets to better secure docks to spud piles. Aluminum ramps not capable of resisting and stabilizing floating dock section in combination with dock to spud pile roller brackets provided.
- East Dock Hand Railing
  - There is a 2 foot to 6 foot wide gap between the primary east dock and the retaining wall/rock ledge. There is concern of users falling off the dock and into this gap.
  - Port to acquire dimension PT timber/trex and hardware materials.
  - Port Staff will construct hand rail in Spring 2024.

- Fence, Gates & Misc. Cleanup
  - The chain link fence on the north end of the site by the bath house needs to be extended west to the waters edge of north to the Derrick Barge to prevent unauthorized entry into the marina.
  - Reset/repair the fence/gate(s) used for construction access and where users can access the marina from the main entry points.
  - Work to be contracted out by Port to local fence contractor.
- Measure Depths along Docks and Record on Map or have a Bathymetric Scan & Map of Marina & Entry Channel Performed
  - Information can be included with seasonal slip agreements
  - Depth measurements and map can be performed either by Port Staff or C&S. (recommended)
  - Bathymetric scan and map could be performed and prepared by a specialty surveyor if decided to be needed. (nice to have but not absolutely necessary)

### **Bath House and Pavilion Renovations:**

- See attached "Bath House Renovation Plans" for additional information and details.
- Enclosed bath house footprint is 320 square feet. Renovations are limited to be within this footprint.
- **The scope in the REDI agreement includes \$75,000 for bath house and pavilion related renovation work. Any amounts requested for reimbursement from the REDI program either over this amount or outside of the established scope of work are subject to rejection of reimbursement payment and will be 100% the Port's responsibility to cover the costs.**
- Renovations were initially scoped with REDI to be simple updates to the existing configuration to make sure they were code/ADA compliant including new fixtures, vanities, counters, sinks, paint, etc., that could be performed by a General Contractor without the need for detailed plans and specifications being prepared by an Architect.
- Requested uses and features have now required engagement of an Architect to maximize the space while being 100% code compliant. Currently, over \$20k has been expended for design; more will be needed if design continues to be changed. Estimate about \$10k for Architect for bidding and construction oversight.
- Entire 320 square foot space will be gutted and reconfigured with exception of some of the centralized mechanical room.
  - Gutting of the entire closed space is most cost efficient considering amount of changes to the existing configuration being proposed.
  - New configuration will include:
    - 1 ADA compliant unisex shower room
    - 1 ADA compliant unisex restroom
    - 2 non-ADA unisex restrooms (could be designated if desired)
    - 1 equipment room (Attendant's Room)
    - 1 Mechanical room

- New plumbing and wiring; will be connected into existing connections at building perimeter.
  - New ventilation for enclosed rooms.
  - New sewer ejector pump.
  - Open pavilion space will be cleaned and painted.
  - New LED lights will be installed underneath the pavilion and around the perimeter soffits at the door openings.
  - Restrooms and shower will have tile floors with painted concrete block walls and painted cement board ceiling. These materials and finishes were selected to be durable, easy to clean and well suited for long periods of non-use during the off-season.
- Cost for a total demolition and rebuild, or adding square footage to the existing building is expensive and outside of the projects approved scope of work and available budget.

### **Second Shower/Exterior Shower:**

- See attached "Exterior Shower Options" for additional information and details.
- There is no room to incorporate an additional shower into the current finished building configuration unless:
  - One of the two non ADA restrooms is switched to become a non ADA shower. This would leave 2 restrooms or,
  - The two non-ADA restroom spaces are combined to create an ADA shower. Would lose 2 restrooms, leaving just one unless a toilet was kept in this shower space, or
  - An outdoor shower station is added to the north of the bath house.
    - An outdoor shower is estimated to cost about \$10k to \$15k; could be included as an "Add Alternate" for bidding to at least get pricing.
    - Would be a cedar/PVC enclosure on a concrete slab with no ceiling.
    - An outdoor shower is technically not included within the scope of work on file with the REDI program for the project.
  - Would recommend leaving main bathhouse area configuration as proposed because it maximizes the usage of the space, provides one ADA compliant restroom and shower and meets current codes.
- While the marina will be relatively secure, it will be impossible to keep all non-authorized users (homeless/vagrants/vandals) out from using an exterior shower.

### **Water Depths of Marina:**

- See attached "Water Depth Along Docks (Measured 7/25/2023)" for additional information and details.
- Water depths were measured at various points where the dock fingers would be installed on 7/25/23 and ranged from about 4'-6" to 11'-6". The water surface elevation measured at this time was 246.39'. For comparison, the ordinary high water elevation is 247.3'.



- This area of the marina was never intended in the original plan to be able to accommodate larger boats (length or draft). The intent was to accommodate smaller recreational/pleasure type boats requiring lesser draft.
- The water depth in the main channel of the original dry dock area was only about 8' to 12' in depth. Please keep in mind that the most boats and vessels using the dry dock area as originally constructed were shall drafting barges and schooners. Vessels were typically pulled in to work on and then backed out when finished. This area has been adapted as best as possible given its physical characteristics and available budget to construct a modernized marina.
- Larger boats were planned to be accommodated on docks immediately north of the historic Derrick Barge however, the existing pier wall in this area is in poor condition and unsafe to directly secure docks to its face or to allow users to be in close proximity of it. Means to secure docks and incorporate provisions to protect users were evaluated and determined to be too expensive and questionable for their durability and longevity given the underlying pier conditions and ultimately decided to be excluded from the project.
- The widened channel attempted to perform excavation to match the water depths of the existing dry dock channel however:
  - The rock strata beginning around 5' to 6' below the normal water surface elevation was denser and not as fractured and easy to remove as the surface layers by mechanical means. One localized area was of a different rock type and very difficult to remove.
  - A concerted attempt was made to remove this lower rock layer. One of the largest demolition hammers in the region was rented and used. This size hammer is generally used by the large limestone quarry in Jamesville.
  - As excavation progressed, water began to fill the excavation quicker than it could be pumped out/drawn down. Hammers are not intended to be used long term underwater.
  - The decision was made to finish what could be completed, clean up and stop work for safety purposes.
- There are going to be significant seasonal variations in the depth of water in the marina. As observed this fall, the water depth in some areas were as shallow as 4 feet. This was attributed to the release of water from Lake Ontario by the IJC in attempts to control seasonal high water that may lead to flooding in the winter and spring months.
- During seasonal usage which is from late May to early September, water depths in the marina will typically be within a range of about 5' to 6' (generally closer to the eastern main dock) and 8' to 12' in the existing main channel area and western docks, excluding any impacts from unique weather/environmental related events.

### **Expected Marina Use:**

- The intended users were expected to be for recreational/pleasure (noncommercial) type boaters renting a slip for a season with smaller vessels generally under 30' in length.
- The restroom accommodations at the bath house will be the feature of most importance to them followed by the covered pavilion area for shade or an area of covered refuge from inclement weather. It is expected based on experience at the east side marina that the single shower will be infrequently used and will generally be readily available for those wanting to use it with little to no wait time.

### **Transient Boaters:**

- Neither the original marina configuration nor the current configuration were ever intended to accommodate transient boaters.
- Transient boats are generally considered to be self-sufficient vessels having living accommodations and amenities in order for its occupants to continuously live onboard for extended periods of time while being disconnected from commercial/municipal systems.
- Vessels are typically large, being 30' to 40' in length or more which under any of the configurations ever considered for the Goble Marina, would have not been able to be accommodated.
- The additional slips at the new Goble Marina could allow for the transient slips at the east marina that have become used as seasonal slips over recent years to be returned to their intended transient use.
- The square footage of the current bath house is 320 square feet. There is not room (or budget) to accommodate the amenities generally desired for a transient serving facility such as a laundry facility, small convenience store, multiple showers, etc. at this time.
- Accommodations for transient boaters can be evaluated and added in the future.

### **Dock Finger Configuration:**

- The current dock configuration is based on the main entry channel location considering the ability of users to most easily and safely navigate to and from their assigned slips.
- The 16' to 20' docks on the west side cannot be exchanged with the 24' docks on the east side.
  - The end spud pile of each dock would need to be removed and replaced. This would be 11 piles. Spud piles have been drilled and installed into the underlying rock. Cost would be approximately \$10k per pile to remove and replace.
  - 24' long docks on the west side would extend into the main channel making navigation for boaters entering and leaving the main area of docks more challenging due to an offset in alignment from the main channel to the harbor.

# **Project Budget Summary**

## Goble Project Budget Summary

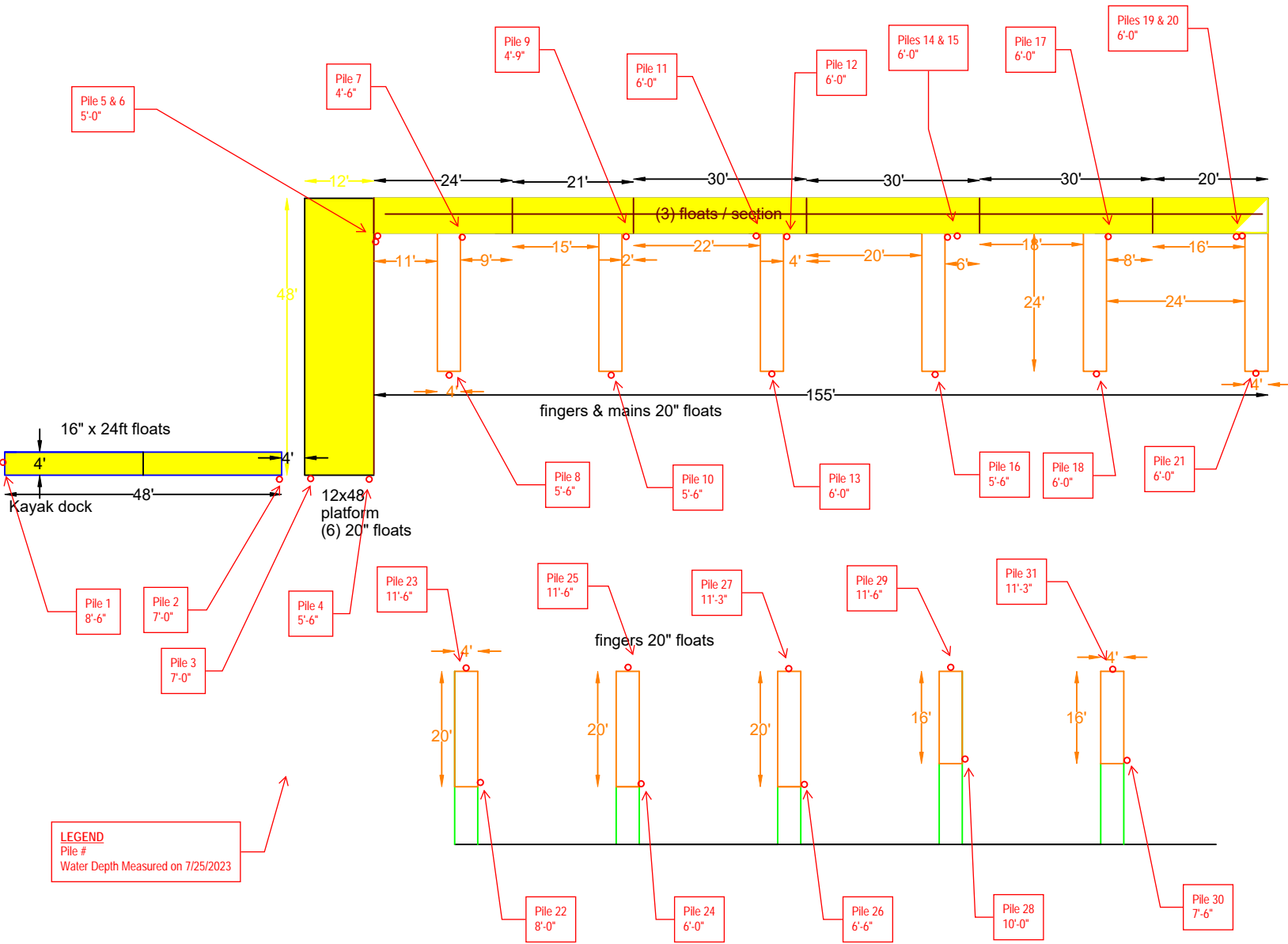
Date: 12/1/2023

		<u>Notes</u>
<b><u>Phase 1</u></b>		
Phase 1 (POA Dredging Excavation)	\$264,652.44	Completed
<b>Subtotal</b>	<b>\$264,652.44</b>	
<b><u>Phase 2</u></b>		
Malone Contract (to date)	\$609,910.54	Work Completed to Date
<b>Subtotal</b>	<b>\$609,910.54</b>	
<b><u>Change Orders</u></b>		
CO's for Docks (Count against Phase 1)	\$689,113.50	
Electrical CO's (Count against Phase 2)	\$29,593.20	
<b>Subtotal</b>	<b>\$718,706.70</b>	
<b><u>Engineering</u></b>		
Engineering thru 11/24/23 (C&S)	\$343,819.55	\$279,908; Supplement Being Prepared for Balance
Engineering (estimated to complete project)	\$20,000.00	Estimated to Complete; Included in Supplemental
<b>Subtotal</b>	<b>\$363,819.55</b>	
<b><u>Remaining Work</u></b>		
Bathhouse and Pavillion Facility Betterments (Phase 1)	\$75,000.00	Needs to be Bid & Completed, Spring 2024
Municipal Waterline Connection (WDM)	\$25,000.00	WDM to Complete Municipal Water Connection, Need Enclosure, RPZ Backflow Preventer, Meter from City, Provisions to Drain if Not Heated; Spring 2024
East Dock Pedestal Wiring (Port)	\$27,000.00	\$15k for 700' wire and \$12k for M/F cam lock electrical connections for East Dock, south end ONLY
East Dock Pedestal Waterline (Port)	\$2,000.00	700' of 3/4" PEX Tubing, 2" to 3/4" Manifold/Reducer, and Misc. Fittings
West Side Dock Stability Modifications (Port)	\$7,500.00	Install Tubular Pile Sleeves and/or Torsion Frame Connectors
Dock Handrailing (Port)	\$4,000.00	Hand Rails for Steps at Dock Abutments and Along Backside (East) of Eastside
Fencing, Gates & Misc. Cleanup (Fence Contractor by Port)	\$7,500.00	Install Fencing & Gate at North End by Derrick Barge, Repair Construction Access
Bathymetric Scan & Map of Marina & Entry Channel (Port)	\$5,000.00	Bathymetric Scan & Map of Marina & Entry Channel for Seasonal Slip Agreement
<b>Subtotal</b>	<b>\$153,000.00</b>	
<b>Project Total</b>		
	<b>\$2,110,089.23</b>	
Project Actual Total Budget (REDI + PFRAP)	\$2,113,562.85	
Balance Remaining	\$3,473.62	

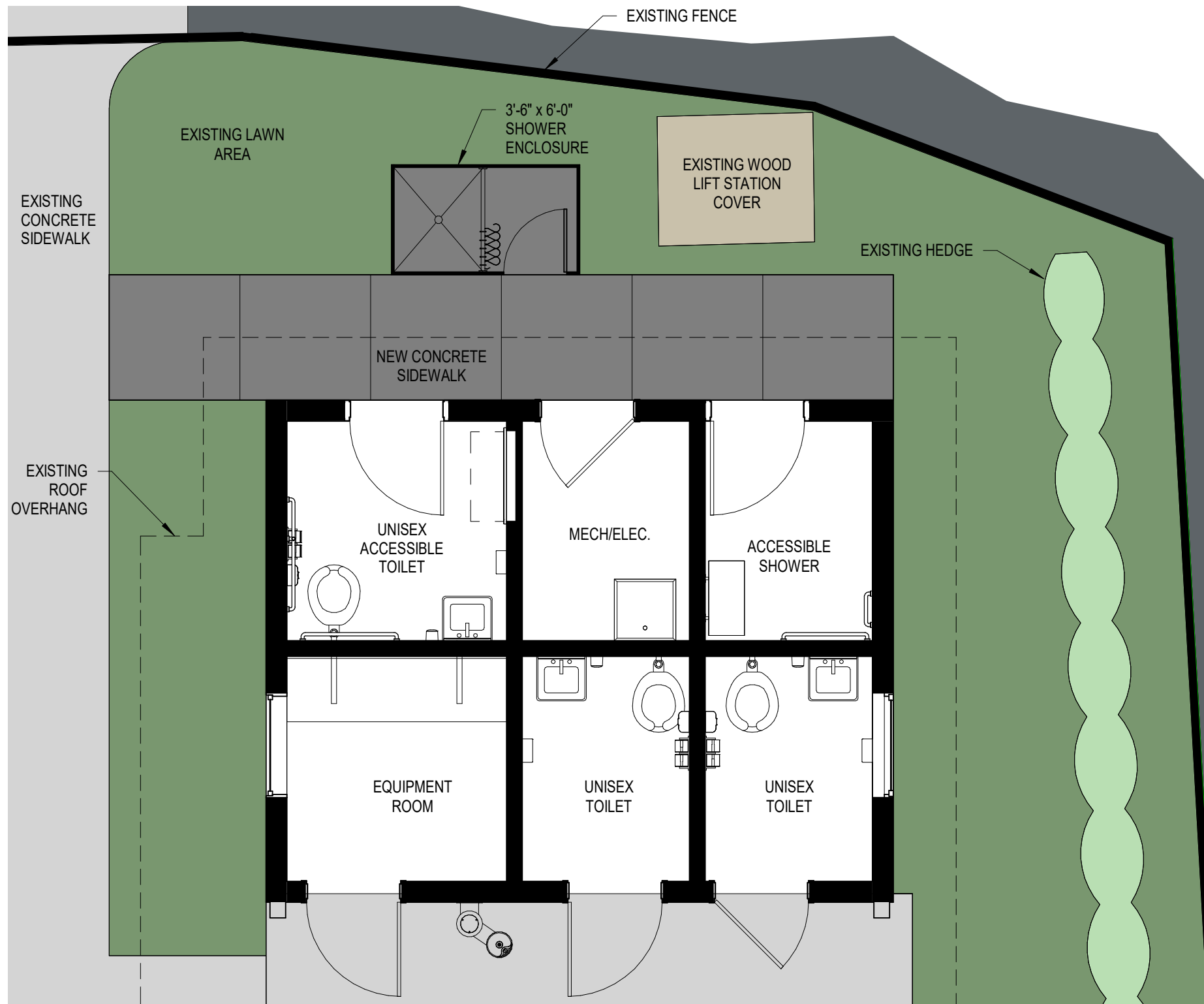


# **Water Depth Along Docks (Measured 7/25/2023)**

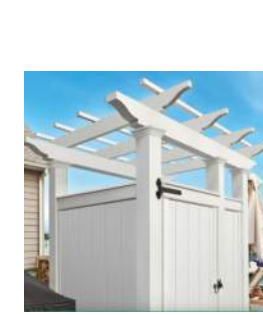
# Dock Layout Plan with Spud Pile Locations



# **Exterior Shower Options**



**SHOWER ENCLOSURE STYLE OPTIONS**



PLASTIC LUMBER ENCLOSURE



PVC OR VINYL ENCLOSURE



WOOD ENCLOSURE



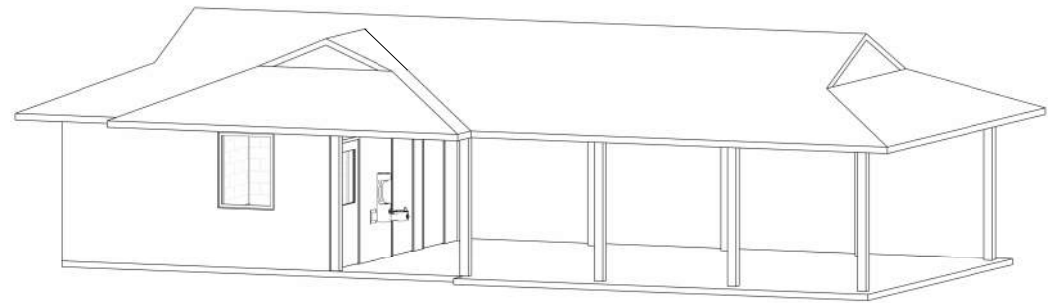
Port of Oswego Authority  
 Goble Marina Bath House  
 Outdoor Shower Enclosure  
 W. 1st Street  
 Oswego, NY 13126  
 December 2023



499 Col. Eileen Collins Blvd.  
 Syracuse, NY 13212  
 (315) 455-2000



# **Bathroom Renovation Plans**



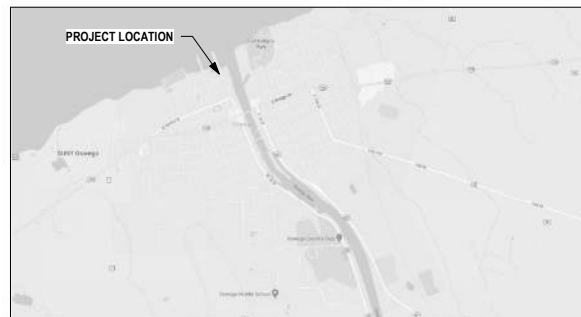
# CONTRACT DRAWINGS FOR THE CONSTRUCTION OF GOBLE MARINA BATH HOUSE

**PORT OF OSWEGO AUTHORITY**  
**W 1ST ST OSWEGO NY, 13126**

**OCTOBER 18, 2023**

**C&S PROJECT NUMBER: 301.030.002**

DRAWING LIST	
G-001	COVER SHEET
<b>ARCHITECTURAL</b>	
A-001	CODE COMPLIANCE REVIEW AND DETAILS
A-101	FLOOR PLANS
A-102	REFLECTED CEILING PLAN - FIRST FLOOR
A-201	EXTERIOR ELEVATIONS
A-202	INTERIOR ELEVATIONS
A-501	SCHEDULES AND DETAILS
<b>PLUMBING</b>	
PD-101	REMOVAL PLAN, GENERAL NOTES, LEGEND, FIXTURE SCHEDULE, & RISER DIAGRAM
P-101	FLOOR PLANS & DETAILS
<b>MECHANICAL</b>	
M-101	FIRST FLOOR PLAN, GENERAL NOTES, SYMBOLS, SCHEDULES, & DETAILS
<b>ELECTRICAL</b>	
E-001	ELECTRICAL GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
ED-101	ELECTRICAL DEMOLITION PLANS
E-100	ELECTRICAL SITE PLAN
E-101	ELECTRICAL PROPOSED PLANS
E-601	ELECTRICAL SCHEDULES AND DETAILS



**LOCATION MAP**

TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THE PLANS AND SPECIFICATIONS FOR THIS PROJECT ARE IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE AND THE BUILDING CODE OF NEW YORK STATE

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW

**G-001**

**2020 EXISTING BUILDING CODE OF NEW YORK STATE**

**CHAPTER 6 – Classification of Work**

- Alteration – Level 3 – Work area exceeds 50 percent of the building area

**CHAPTER 9 – Alterations – Level 3**

- 901.2 Compliance – Work shall comply with all requirements of Level 1 & 2 Alterations – Level 2 Alterations (801.3) requires that new construction elements, components, systems and spaces comply with the requirements of The Building Code of New York State.

**2020 BUILDING CODE OF NEW YORK STATE**

**CHAPTER 3 – Use and Occupancy Classification**

**A. Classification & Incidental Uses**

- 312 (U) Utility and Miscellaneous Group – Miscellaneous structure not classified in any specific occupancy

**CHAPTER 5 – General Building Heights and Areas**

**A. General Height and Area Limitations**

Group U occupancy, Type IIIB construction (Non-Sprinklered)

- Building Height
  - Table 504.3 – Allowable Building Height in Feet Above Grade Plane  
Max. Height: 55 ft (13'-6" Actual)
- Number of Stories
  - Table 504.4 Maximum Stories Allowable Number of Stories Above Grade Plane  
U: 2 (1 Actual)
- Building Area (Gross)
  - Table 506.2 Maximum Allowable Area (NS)  
U: 8,500 sf per story (996 Actual)

**CHAPTER 6 – Types of Construction**

- Table 601 – Fire-Resistance Rating Requirements for Building Elements, Type III B

- Structural Frame: 0 hour
- Bearing Walls: 2 hour
- Non-Bearing Walls: 0 hour
- Floor Construction: 0 hour
- Roof Construction: 0 hour

**CHAPTER 7 – Fire and Smoke Protection Features**

- Table 721.1 – Minimum Protection of Structural Parts Based on Time Periods for Various Materials – Concrete masonry units achieve 2 hour rating with 3.2 inches minimum thickness.

**CHAPTER 8 – Interior Finishes**

**A. Interior Finishes**

- Table 803.13, Interior Wall and Ceiling Finish Requirements by Occupancy  
No Restrictions

**CHAPTER 9 – Fire Protection Systems**

**A. Automatic Sprinkler Systems**

- An automatic sprinkler system is not required for Group U occupancies.

**B. Portable Fire Extinguishers**

- Portable fire extinguishers are not required for Group U occupancies.

**CHAPTER 10 – Means of Egress**

**A. Area Occupancy**

- Table 1004.5: Maximum Floor Area Allowances per Occupant
  - Accessory Storage, Mechanical Rooms: 300 of Gross
  - Assembly Unconcentrated, Tables & Chairs: 15 of Net
- Number of Occupants:  
Building: 280/300 = 1  
Open area: 715/15 = 48  
Docks: 25

Note: Building is not intended to be permanently occupied; therefore, occupant load is calculated for means of egress sizing and plumbing fixture counts only.

**B. Means of Egress**

- 1005.3.2 Other Egress Components
  - Non-Sprinklered: 0.2 in per occupant

**C. Number of Exits and Exit Access Doorways**

- Table 1006.2.1 Spaces with One Exit or Exit Access Doorway
  - Occupant Load < 49 persons – Minimum 1 exit required.

**D. Exit Access**

- Table 1017.2
  - U Occupancy - 300' maximum travel without sprinkler system

**2020 ENERGY CODE OF NEW YORK STATE**

- C402.1.1 Low-energy buildings

- The building is exempt from thermal envelope provisions since it does not contain conditioned space.

**2020 PLUMBING CODE OF NEW YORK STATE**

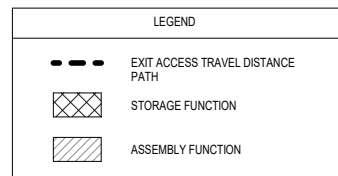
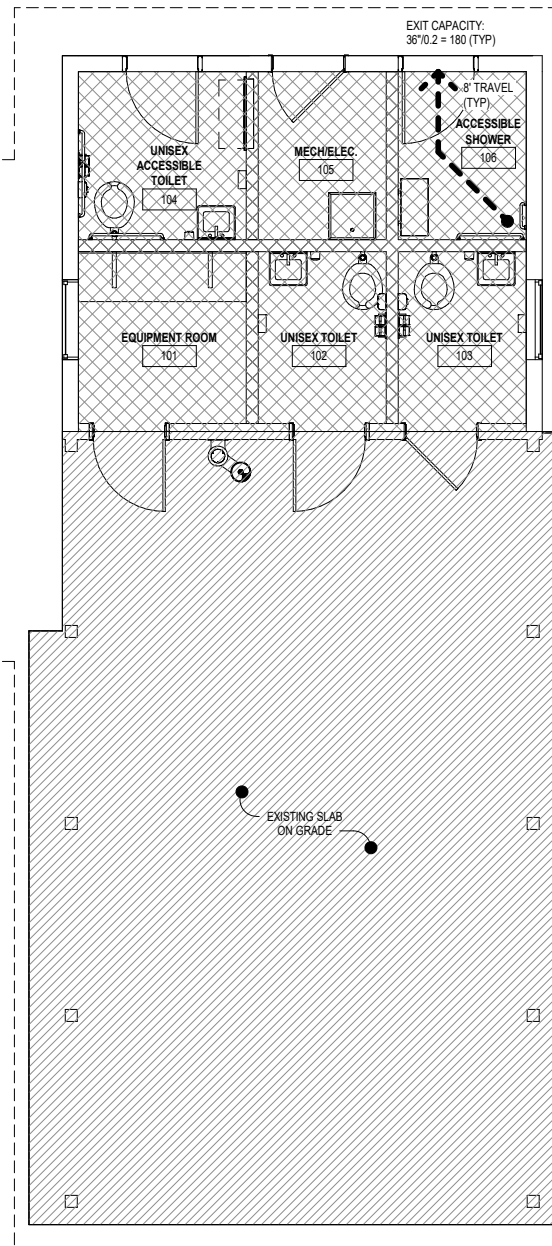
**A. Fixtures, Faucets and Fixture Fittings (Chapter 4)**

- Table 403.1 - Minimum Number of Required Fixtures

- Business Occupancy (B) – 74 Occupants/2 = 37 per gender
- Water Closets
    - Male: 1 per 25 (first 50), 1 per 50 (50+) = 1.48
    - Female: 1 per 25 (first 50), 1 per 50 (50+) = 1.48
  - Lavatories
    - Male: 1 per 40 (first 80), 1 per 80 (80+) = 0.93
    - Female: 1 per 40 (first 80), 1 per 80 (80+) = 0.93
  - Drinking Fountain: 1 per 100 = 0.37
  - Service Sink: 1 required

**Fixture Totals**

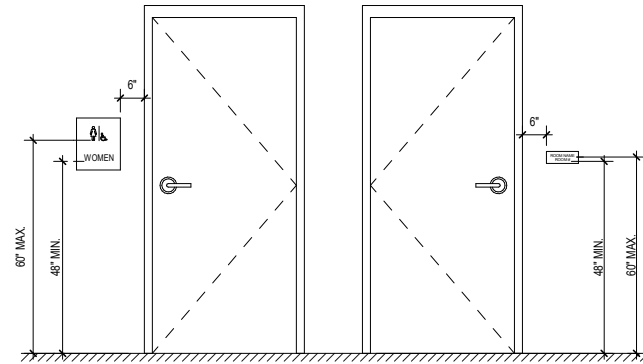
- Water Closets: 3
- Lavatories: 2
- Drinking Fountain: 1
- Service Sink: 1



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
0000	STRUCTURAL GRID	⊕	LEVEL REFERENCE
⊕	VIEW REFERENCE	A1/A-101	VIEW REFERENCE
⊕	EXTERIOR ELEVATION	101	ROOM TAG
⊕	INTERIOR ELEVATION	150 SF	ROOM TAG
⊕	BUILDING SECTION	1A	WALL TAG
⊕	WALL SECTION	101	DOOR TAG
⊕	DETAIL CALLOUT	A	WINDOW TAG
		⚠	REVISION TAG
		---	STRUCTURAL GRID LINE
		---	FINISHED SURFACE LINE
		---	DEMOLITION LINE
		---	OVERHEAD/HIDDEN LINE

**C3 SYMBOLS LEGEND**

SCALE: NOT TO SCALE



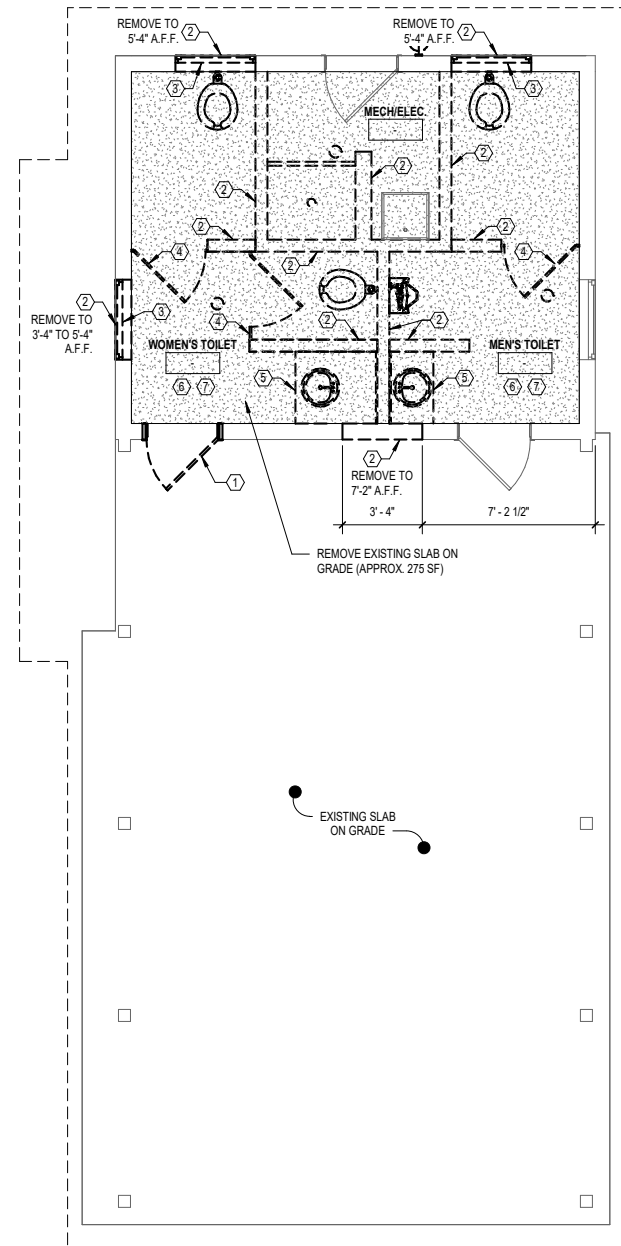
- NOTES:**
- PROVIDE SIGNAGE AS SPECIFIED AT ALL ROOMS INDICATED IN ROOM FINISH SCHEDULE.
  - MOUNT SIGNS AS FOLLOWS (SHOWN GRAPHICALLY ABOVE):  
MINIMUM HEIGHT: BASELINE OF LOWEST COPY MOUNTED NO LOWER THAN 48" ABOVE FLOOR  
MAXIMUM HEIGHT: BASELINE OF HIGHEST COPY TO BE MOUNTED NO HIGHER THAN 60" ABOVE FLOOR
  - SIGN VENDOR TO COORDINATE SIGN TEXT / COLOR / LAYOUT WITH OWNER.

**B3 SIGNAGE DETAILS AND REQUIREMENTS**

SCALE: 1/2" = 1'-0"

- REMOVE EXISTING HOLLOW METAL DOOR, FRAME AND HARDWARE IN ITS ENTIRETY
- REMOVE EXISTING MASONRY WALL FULL HEIGHT OR TO EXTENTS SHOWN. IN ADDITION REMOVE ASSUMED FOOTING BELOW THE WALL IN ITS ENTIRETY AT ALL INTERIOR WALLS.
- REMOVE EXISTING WINDOW IN ITS ENTIRETY
- REMOVE EXISTING WOOD PARTITION AND DOOR IN ITS ENTIRETY
- REMOVE EXISTING PLASTIC LAMINATE COUNTERTOP IN ITS ENTIRETY
- REMOVE EXISTING WOOD CEILING IN ITS ENTIRETY
- REMOVE ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO MIRRORS, TOILET PAPER HOLDERS, SOAP DISPENSERS, COAT HANGERS, ETC.

**NOTE:**  
SEE PLAN FOR ADDITIONAL REMOVALS AND REQUIREMENTS

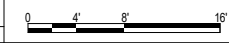


**A1 CODE COMPLIANCE REVIEW**

SCALE: NOT TO SCALE

**A2 CODE COMPLIANCE PLAN**

SCALE: 1/4" = 1'-0"



**A3 DEMOLITION KEYNOTE LEGEND**

SCALE: 1/4" = 1'-0"

**A4 FIRST FLOOR DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"



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**GOBLE MARINA BATH HOUSE**  
**PORT OF OSWEGO AUTHORITY**  
**W 1ST ST OSWEGO NY, 13126**

MARK	DATE	DESCRIPTION

**REVISIONS**

PROJECT NO:	301.030.002
DATE:	OCTOBER 18, 2023
DRAWN BY:	M.E. BARNES
DESIGNED BY:	M.E. BARNES
CHECKED BY:	-

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**CODE COMPLIANCE REVIEW AND DETAILS**

**A-001**

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**FLOOR PLANS**

**A-101**

**C1 CONCRETE WALKWAY FINISH DETAIL**  
 SCALE: NOT TO SCALE

**C2 LAWN RESTORATION DETAIL**  
 SCALE: NOT TO SCALE

**B1 CONCRETE SIDEWALK DETAIL**  
 SCALE: NOT TO SCALE

**B2 CONCRETE JOINT DETAILS**  
 SCALE: NOT TO SCALE

**NOTE:**  
 EXPANSION JOINTS SHALL ALSO BE PLACED AT ALL INTERFACES OF A BUILDING AND A CONCRETE SIDEWALK OR EXTERIOR SLAB

**A1 TYPICAL SLAB ON GRADE DETAIL**  
 SCALE: 1" = 1'-0"

**A2 ACCESSORY SCHEDULE**  
 SCALE: 12" = 1'-0"

ACCESSORIES SCHEDULE	ROOM NUMBER			
	102	103	104	106
① 42" GRAB BAR	0	0	1	0
② 36" GRAB BAR	0	0	1	0
③ 18" GRAB VERTICAL BAR	0	0	1	0
④ BABY CHANGING STATION	0	0	1	0
⑤ HAND DRYER	1	1	1	0
⑥ SOAP DISPENSER	1	1	1	0
⑦ TOILET PAPER HOLDER	1	1	1	0
⑧ SANITARY NAPKIN WASTE RECEPTACLE	1	1	1	0
⑨ MIRROR (1'-6" W x 3'-0" H)	1	1	1	0
⑩ SHOWER SEAT	0	0	0	1
⑪ GRAB BAR	0	0	0	1

**GENERAL NOTES:**

- MOUNT ALL ACCESSORIES WITH FASTENERS AND ANCHORS AS RECOMMENDED BY THE MANUFACTURER.
- MOUNT ALL ACCESSORIES AT ADA ACCESSIBLE HEIGHTS AND LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- ALL PIPING BELOW ALL SINKS TO BE COVERED WITH ACCESSIBILITY APPROVED INSULATION WITH PVC (WHITE) COVERS. USE PRODUCTS BY 'TRU-BRO' OR APPROVED EQUIVALENT.

**A3 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**NOTE:**  
 PROVIDE CONCRETE SLAB ON GRADE PER DETAIL A1/A-101 TO REPLACE THAT REMOVED BY DEMOLITION (APPROX. 200 SF).



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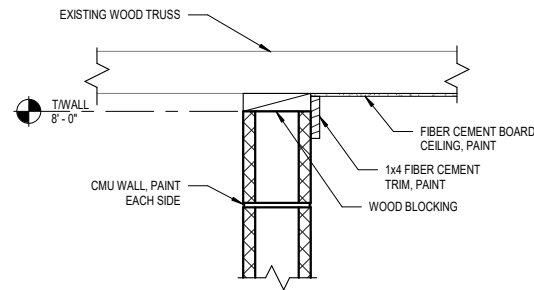
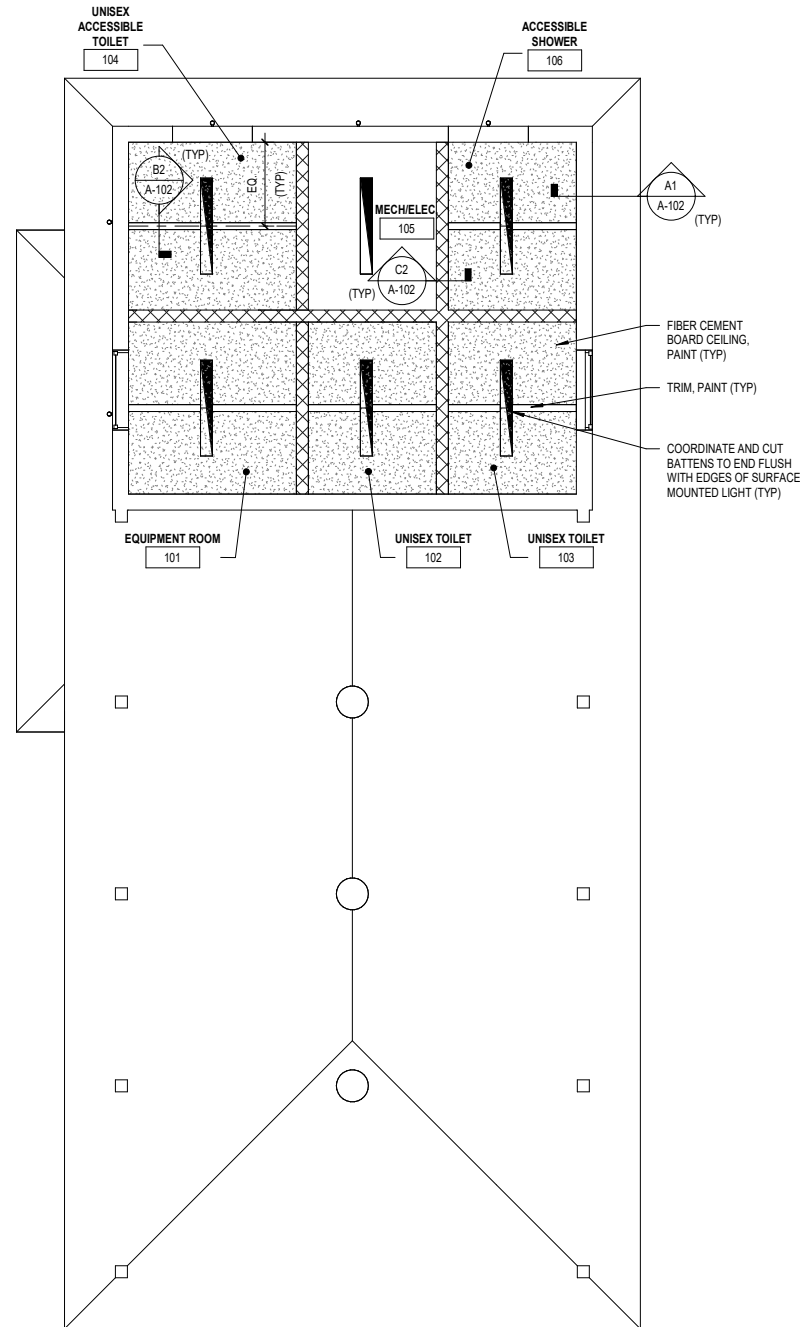
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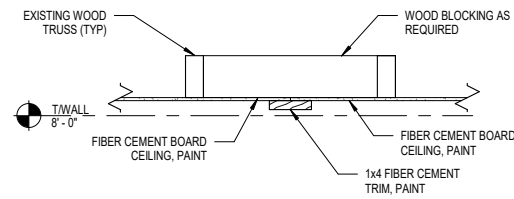
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**REFLECTED CEILING  
 PLAN - FIRST FLOOR**

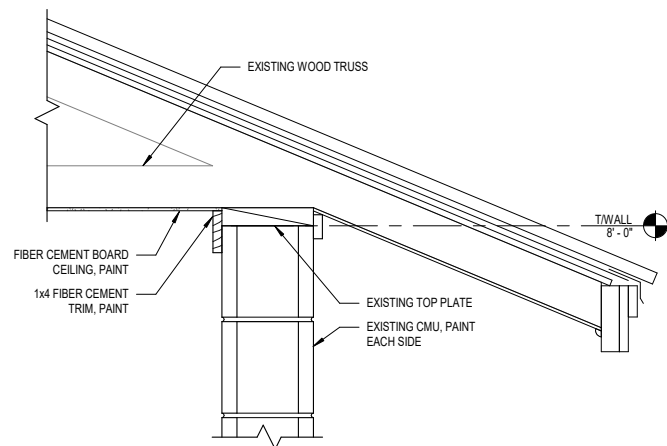
**A-102**



**C2 TYPICAL CEILING TRANSITION DETAIL AT INTERIOR WALL**  
 SCALE: 1 1/2" = 1'-0"



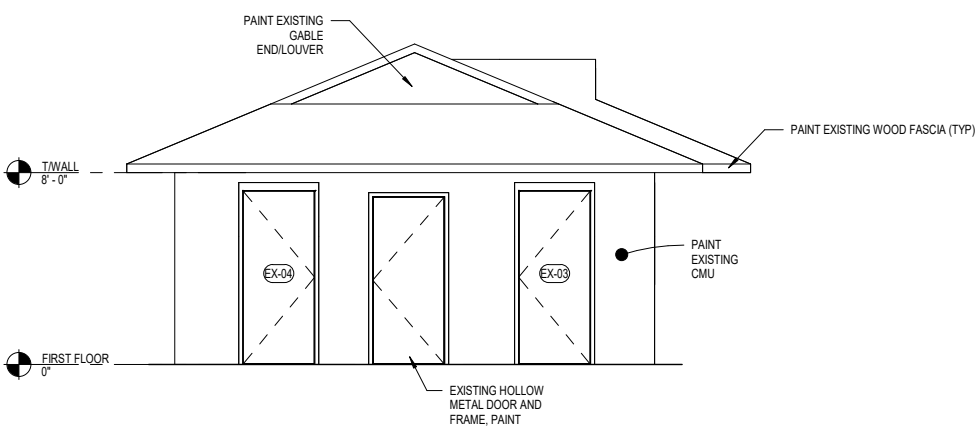
**B2 TYPICAL CEILING JOINT DETAIL**  
 SCALE: 1 1/2" = 1'-0"



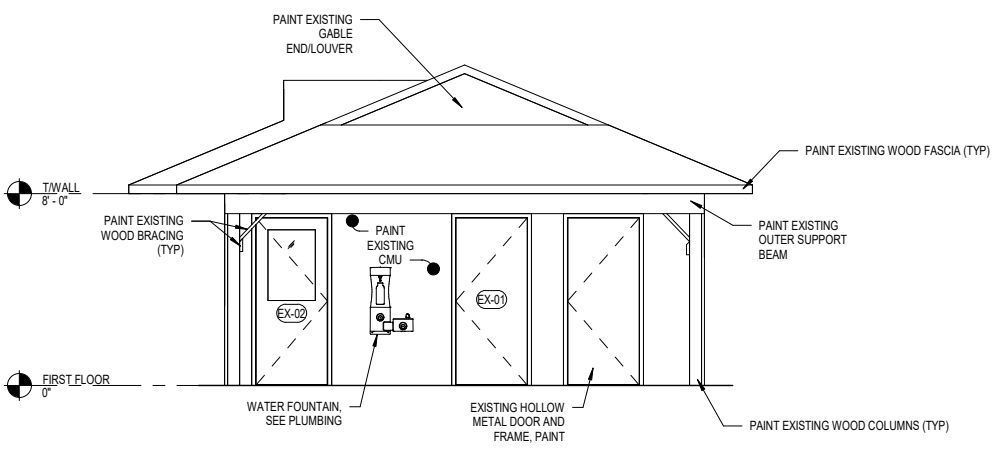
**A1 TYPICAL CEILING DETAIL AT EXTERIOR WALL**  
 SCALE: 1 1/2" = 1'-0"

**A3 FIRST FLOOR REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

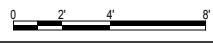
1 2 3 4



**C1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

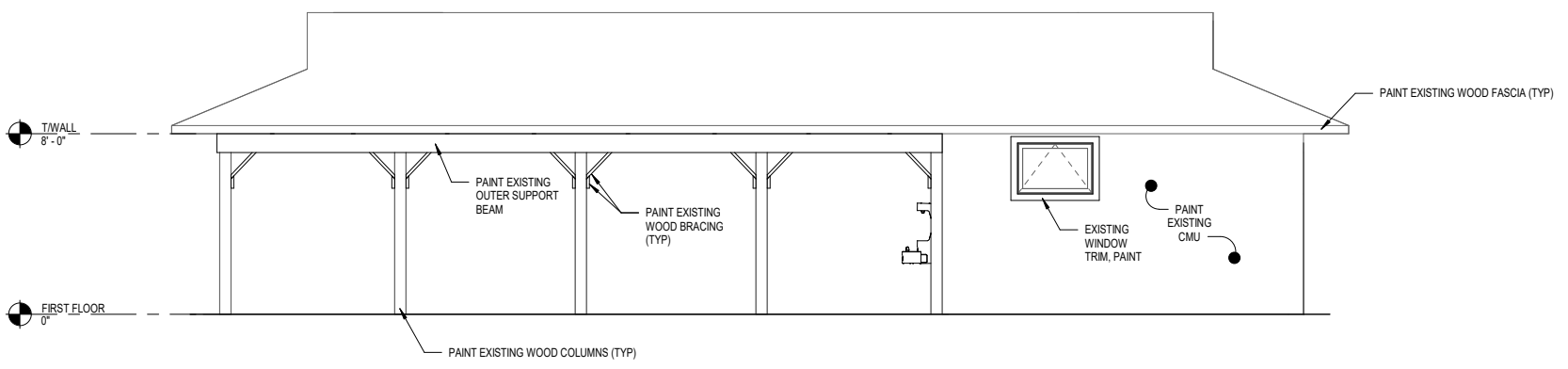


**C3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

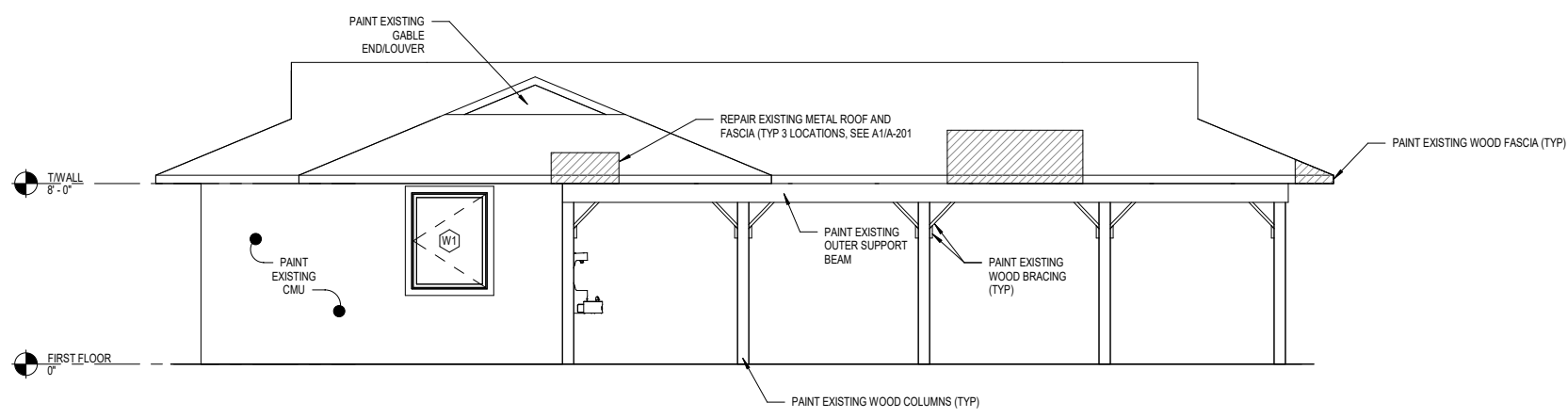


- NOTES:**
1. REPAIR DAMAGED ROOF PANELS, FASCIA AND RIDGE INDICATED ABOVE IN KIND (COLORS, MATERIAL AND PROFILES TO MATCH EXISTING).
  2. REMOVE AND REPLACE PANELS IN FULL WIDTHS.
  3. SPLICE/LAP NEW PANELS BELOW EXISTING TO MAINTAIN ENVELOPE WATER TIGHT.

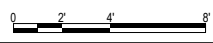
**A1 ROOF REPAIR DETAIL**  
SCALE: NOT TO SCALE



**B2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**A2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



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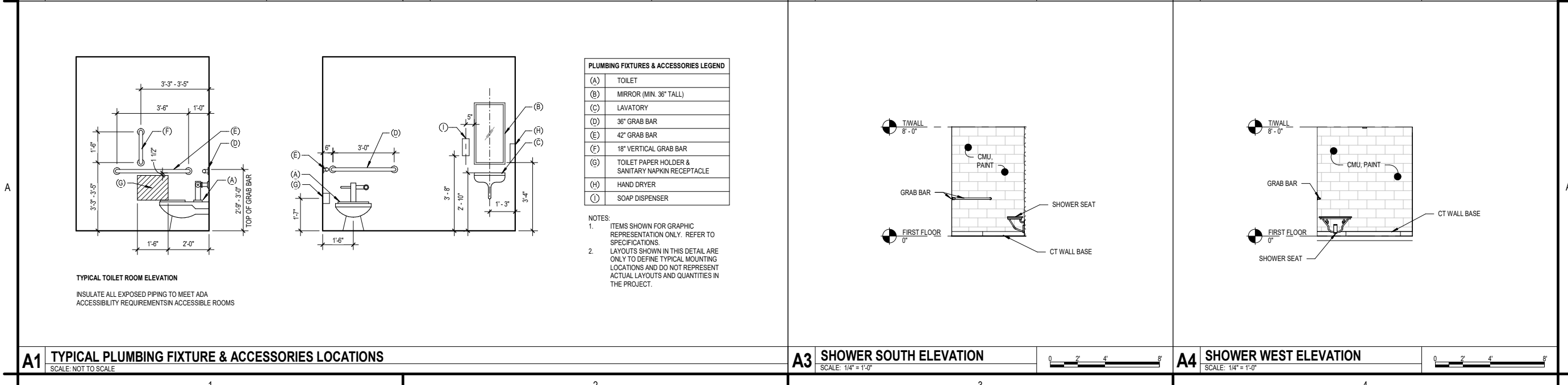
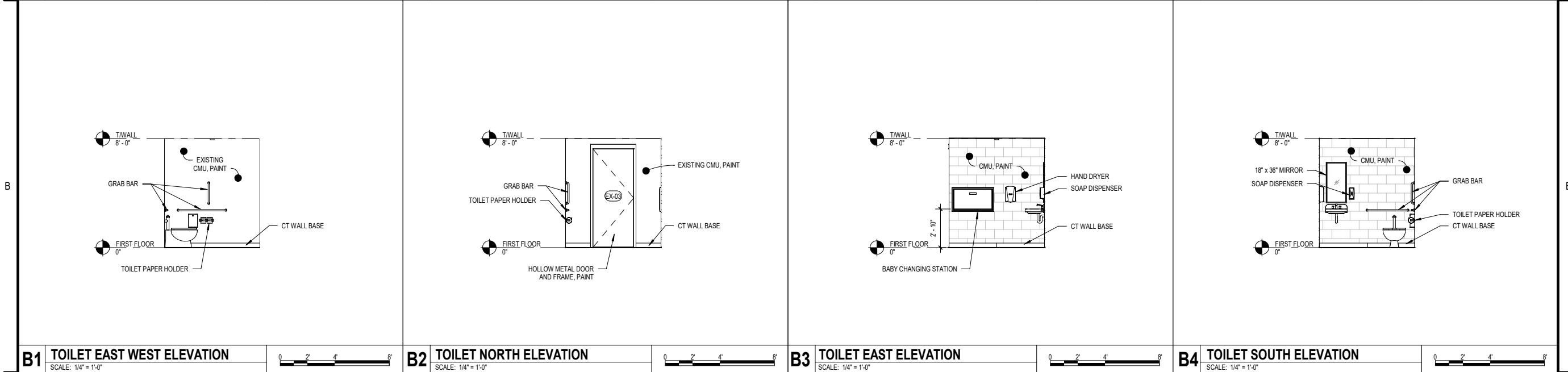
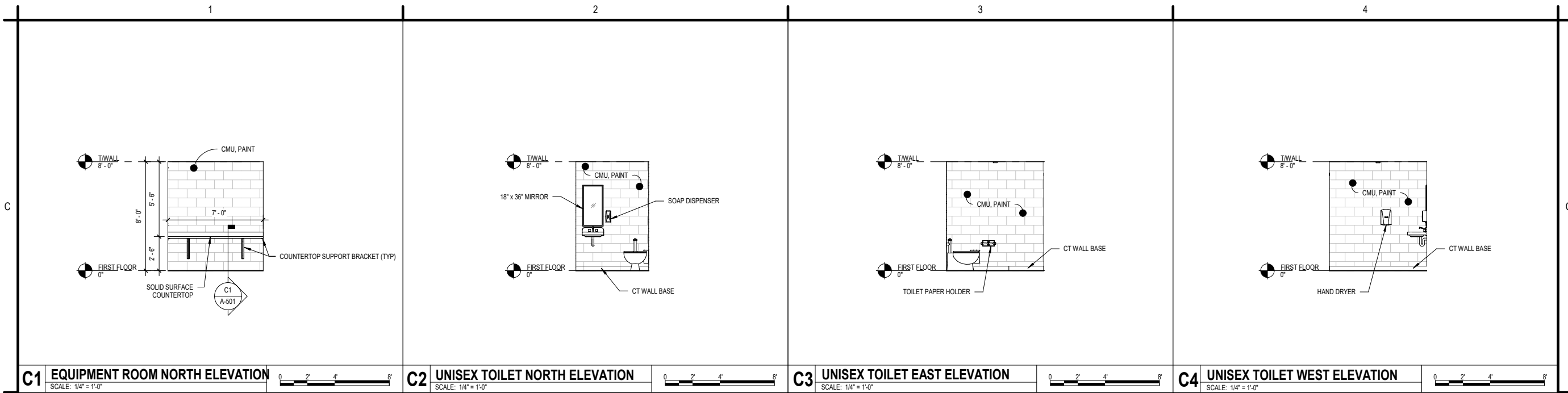
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**EXTERIOR ELEVATIONS**

**A-201**



**PLUMBING FIXTURES & ACCESSORIES LEGEND**

(A)	TOILET
(B)	MIRROR (MIN. 36" TALL)
(C)	LAVATORY
(D)	36" GRAB BAR
(E)	42" GRAB BAR
(F)	18" VERTICAL GRAB BAR
(G)	TOILET PAPER HOLDER & SANITARY NAPKIN RECEPTACLE
(H)	HAND DRYER
(I)	SOAP DISPENSER

**NOTES:**

- ITEMS SHOWN FOR GRAPHIC REPRESENTATION ONLY. REFER TO SPECIFICATIONS.
- LAYOUTS SHOWN IN THIS DETAIL ARE ONLY TO DEFINE TYPICAL MOUNTING LOCATIONS AND DO NOT REPRESENT ACTUAL LAYOUTS AND QUANTITIES IN THE PROJECT.



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**INTERIOR ELEVATIONS**

**A-202**



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**SCHEDULES AND DETAILS**

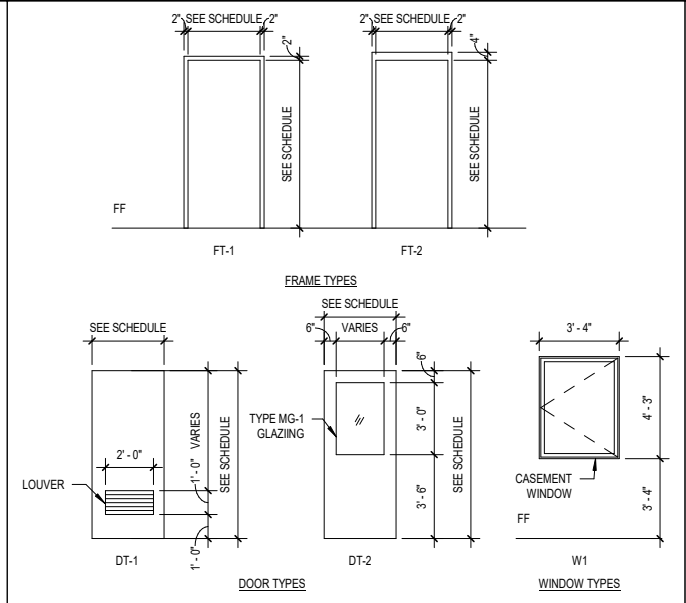
**A-501**

DOOR SCHEDULE															
DOOR NO.	ROOM NO.	DOOR		DOOR		FRAME		DETAILS			HARDWARE SET	FIRE RATING	NOTES		
		TYPE	DOOR WIDTH	DOOR HEIGHT	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD DETAIL				JAMB DETAIL	SILL DETAIL
EX-01	102	DT-1	3'-0"	7'-0"	HM	PT	FT-1	HM	PT	A4-A-501	A1A-501	A4/A-501	H-1	-	-
EX-02	101	DT-2	3'-0"	7'-0"	HM	PT	FT-1	HM	PT	A2-A-501	A1A-501	A2/A-501	H-2	-	-
EX-03	104	DT-1	3'-0"	7'-3"	HM	PT	FT-2	HM	PT	A3-A-501	A1A-501	A3/A-501	H-3	-	-
EX-04	106	DT-1	3'-0"	7'-3"	HM	PT	FT-2	HM	PT	A3-A-501	A1A-501	A3/A-501	H-3	-	-

**ABBREVIATIONS:**  
 ALLUM - ALUMINUM  
 CAMFA - CLEAR ANODIZED MILL FINISH ALUMINUM  
 EXIST - EXISTING  
 FF - FINISH FLOOR  
 GALV - GALVANIZED  
 HM - HOLLOW METAL  
 PR - PAIR  
 PT - PAINT  
 STN - STAIN  
 STL - STEEL

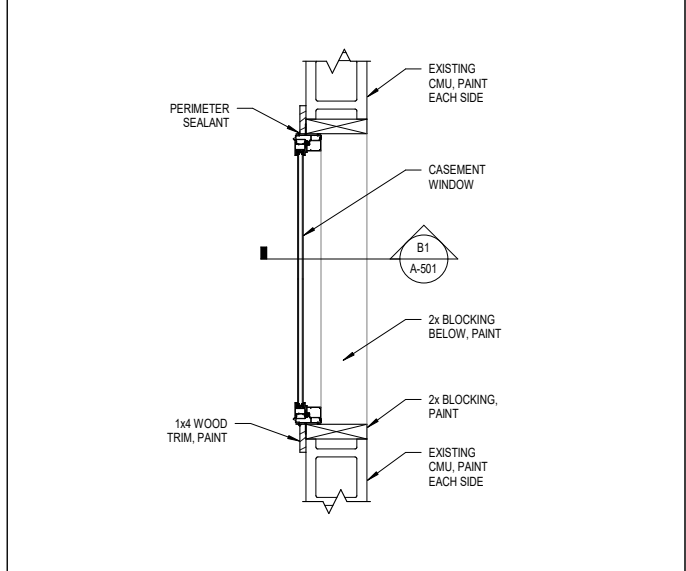
ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS (SUBSTRATE/FINISH)				CEILING		NOTES
				NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	
101	EQUIPMENT ROOM	CONC	-	CMU/PT	CMU/PT	CMU/PT	CMU/PT	FC/PT	8'-1"	-
102	UNISEX TOILET	CT	CT	CMU/PT	CMU/PT	CMU/PT	CMU/PT	FC/PT	8'-1"	-
103	UNISEX TOILET	CT	CT	CMU/PT	CMU/PT	CMU/PT	CMU/PT	FC/PT	8'-1"	-
104	UNISEX ACCESSIBLE TOILET	CT	CT	CMU/PT	CMU/PT	CMU/PT	CMU/PT	FC/PT	8'-1"	-
105	MECH/ELEC.	CONC	-	CMU/PT	CMU/PT	CMU/PT	CMU/PT	-	-	-
106	ACCESSIBLE SHOWER	CT	CT	CMU/PT	CMU/PT	CMU/PT	CMU/PT	FC/PT	8'-1"	-

**ABBREVIATIONS:**  
 CT - CERAMIC TILE  
 CONC - CONCRETE  
 CMU - CONCRETE MASONRY UNIT  
 FC - FIBER CEMENT  
 PT - PAINT



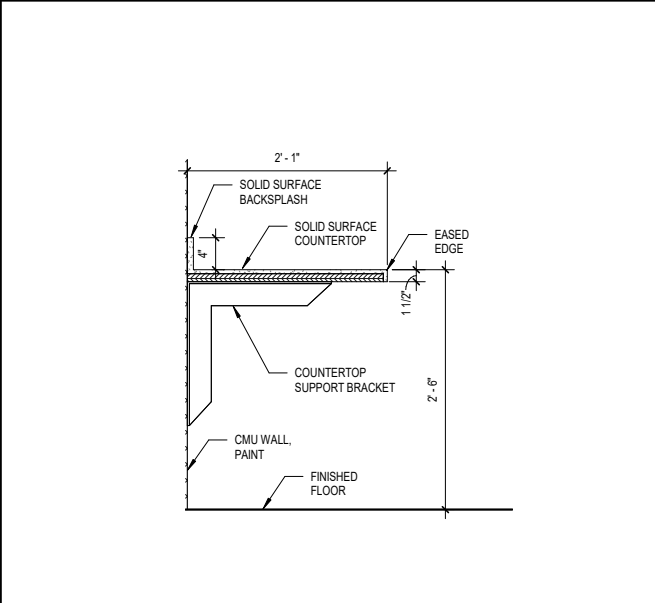
**C3 DOOR, FRAME AND WINDOW TYPES**  
 SCALE: 1/4" = 1'-0"

**C3 DOOR SCHEDULE**  
 SCALE: NOT TO SCALE

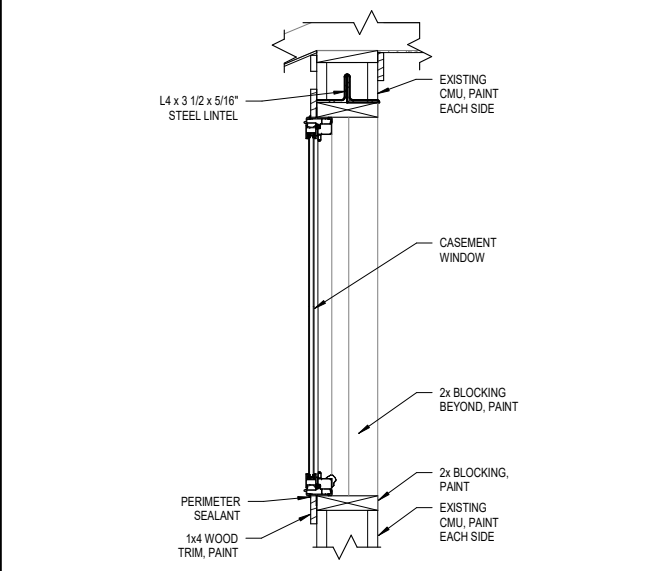


**B2 WINDOW PLAN DETAIL**  
 SCALE: 1" = 1'-0"

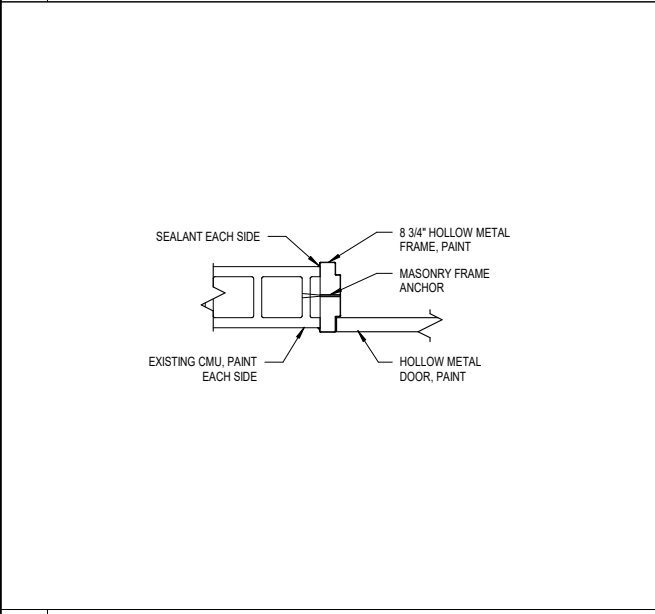
**B3 ROOM FINISH SCHEDULE**  
 SCALE: NOT TO SCALE



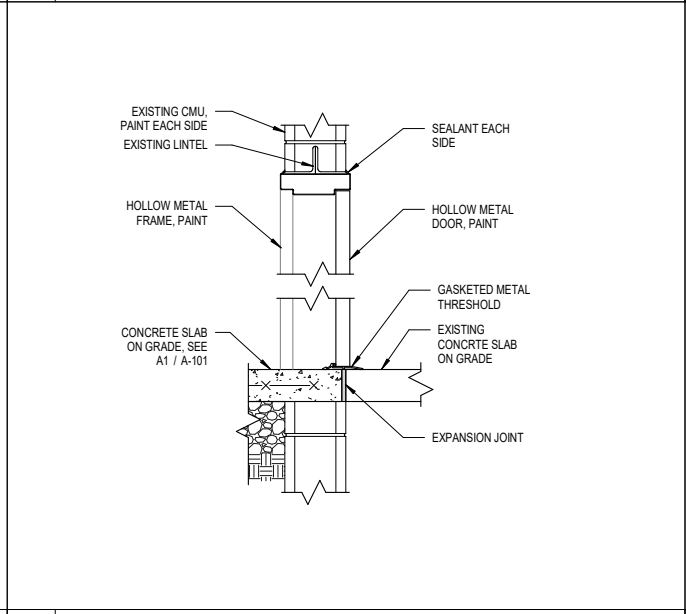
**C1 COUNTER DETAIL**  
 SCALE: 1" = 1'-0"



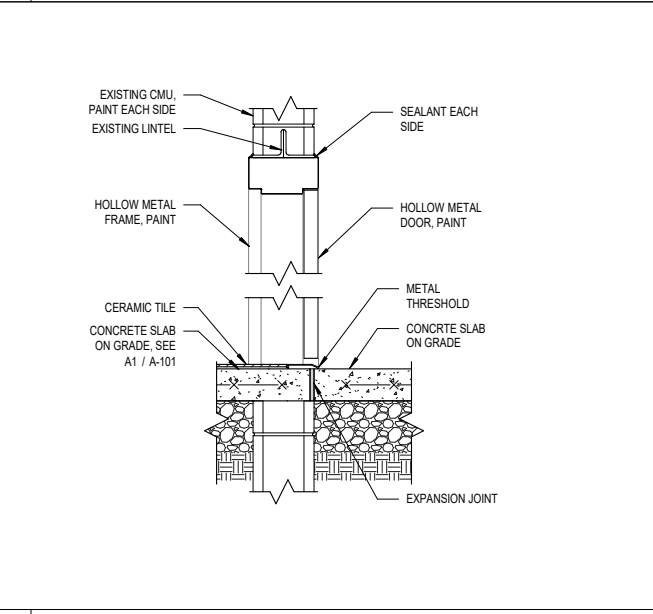
**B1 WINDOW SECTION**  
 SCALE: 1" = 1'-0"



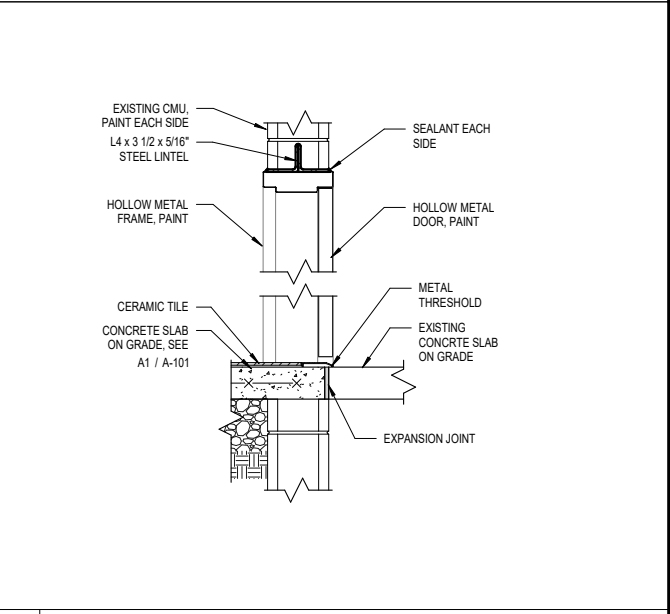
**A1 DOOR JAMB DETAIL**  
 SCALE: 1" = 1'-0"



**A2 HEAD AND SILL DETAILS - EXISTING OPENING**  
 SCALE: 1" = 1'-0"



**A3 HEAD AND SILL DETAILS - EXISTING OPENING @ TILE**  
 SCALE: 1" = 1'-0"

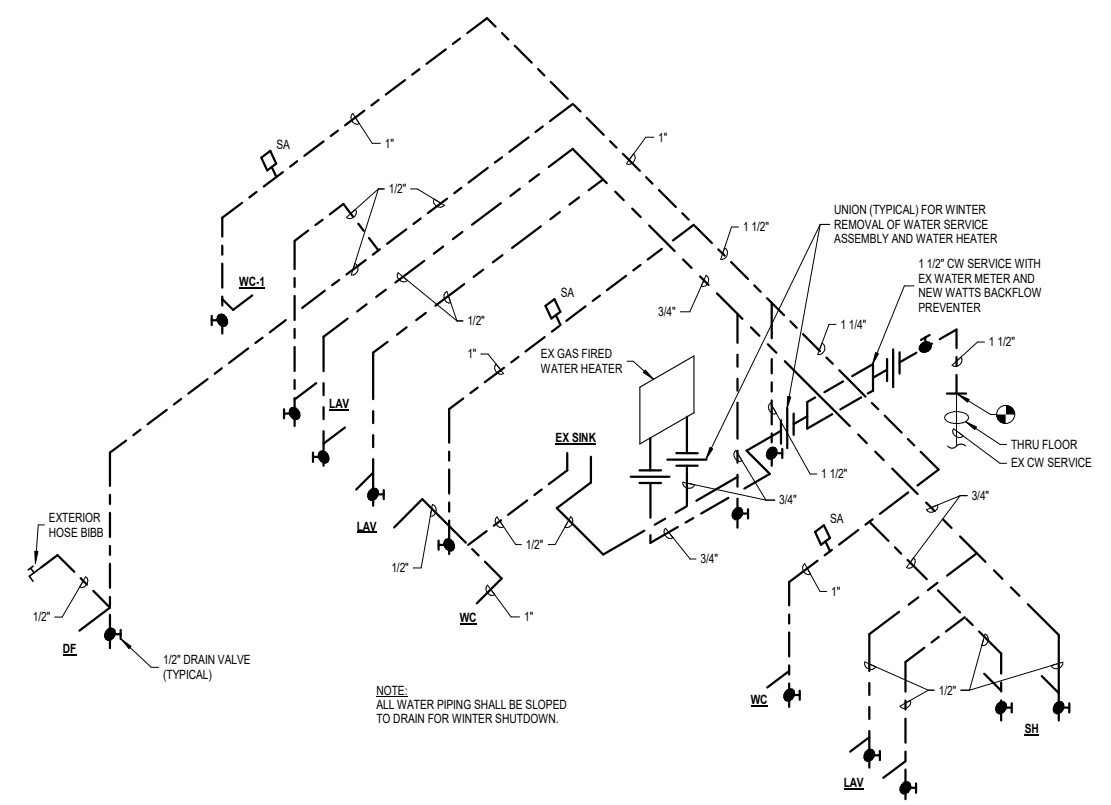


**A4 HEAD AND SILL DETAILS - NEW OPENING @ TILE**  
 SCALE: 1" = 1'-0"



	PIPING/EQUIPMENT/FIXTURE TO BE REMOVED
	DOMESTIC COLD WATER PIPING (CW)
	DOMESTIC HOT WATER PIPING (HW)
	INDIRECT WASTE PIPING (IW)
	SANITARY PIPING (SAN)
	GAS PIPING (G)
	VENT PIPING (V)
	BALL VALVE
	UNION
	SHOCK ABSORBER
	TRAP
	END CAP
	CLEANOUT
	CONNECT TO EXISTING
	DISCONNECT FROM EXISTING
	PIPE BREAK
	AIR ADMITTANCE VALVE
	CEILING
	CLEAN OUT
	PIPING DOWN
	DECK PLATE CLEANOUT
	DRINKING FOUNTAIN
	EXISTING
	FLOOR DRAIN
	HOSE BIBB
	LAVATORY
	MINIMUM
	REDUCED PRESSURE TYPE BACKFLOW PREVENTER
	SHOCK ABSORBER
	SHOWER
	SINK
	TYPICAL
	VENT THROUGH ROOF
	WATERCLOSET

PLUMBING FIXTURE CONNECTION SCHEDULE				
	WASTE	VENT	COLD	HOT
WATERCLOSET (WC), (WC-1)	4"	2"	1"	--
LAVATORY (LAV)	1 1/2"	1 1/2"	1/2"	1/2"
SINK (SK)	1 1/2"	1 1/2"	1/2"	1/2"
EXTERIOR WALL HYDRANT (WH) OR HOSE BIBB (HB)	--	--	1/2"	--
DRINKING FOUNTAIN (DF)	1 1/2"	1 1/2"	1/2"	--
SHOWER (SH)	--	--	1/2"	1/2"



**B1 LEGEND, SYMBOLS, & ABBREVIATIONS**

SCALE: NOT TO SCALE

**B2 PLUMBING FIXTURE CONNECTION SCHEDULE**

SCALE: NOT TO SCALE

**B3 WATER RISER DIAGRAM**

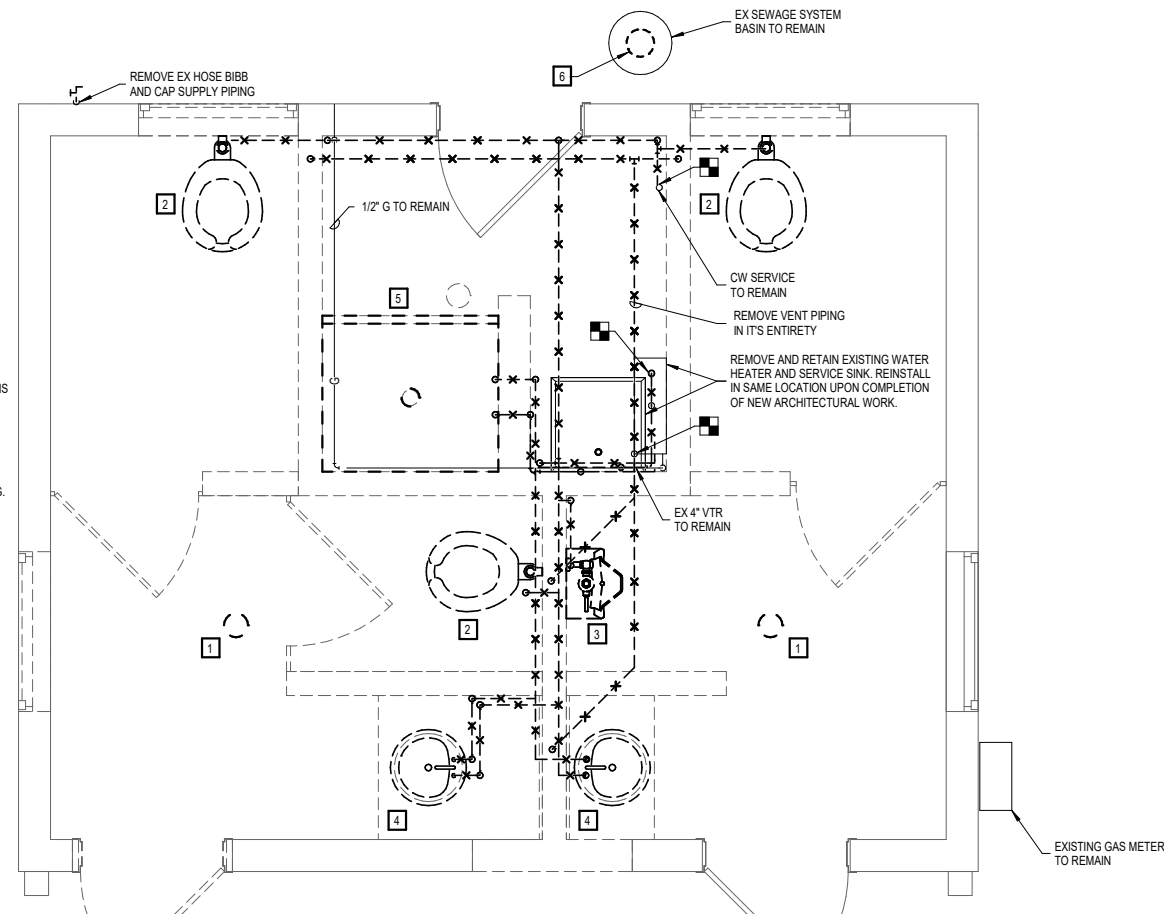
SCALE: NOT TO SCALE

**KEYED NOTES:**

- 1 REMOVE # FLOOR DRAIN AND ASSOCIATED SANITARY PIPING IN ITS ENTIRETY.
- 2 REMOVE WATER CLOSET AND ALL ASSOCIATED PIPING.
- 3 REMOVE URINAL AND ALL ASSOCIATED PIPING.
- 4 REMOVE LAVATORY AND ALL ASSOCIATED PIPING.
- 5 REMOVE SHOWER AND ALL ASSOCIATED PIPING.
- 6 REMOVE SEWAGE EJECTOR PUMP AND ALL ASSOCIATED PIPING AND CONTROLS. PREPARE EXISTING SANITARY CONNECTIONS AT PUMP FOR REUSE.

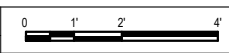
**NOTE:**

REMOVE ALL BELOW SLAB SANITARY PIPING.



**A1 REMOVAL PLAN**

SCALE: 1/2" = 1'-0"



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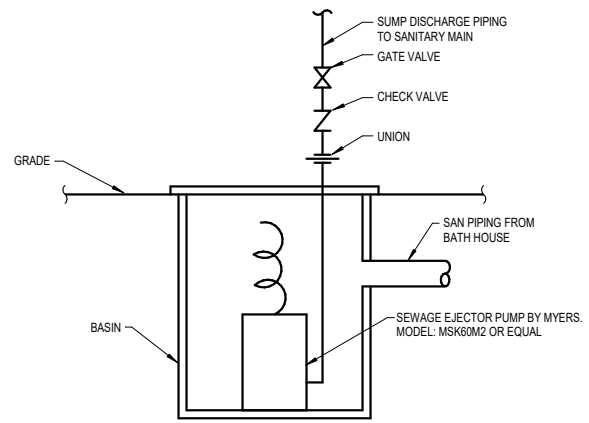


**GOBLE MARINA BATH HOUSE  
 PORT OF OSWEGO AUTHORITY  
 W 1ST ST OSWEGO NY, 13126**

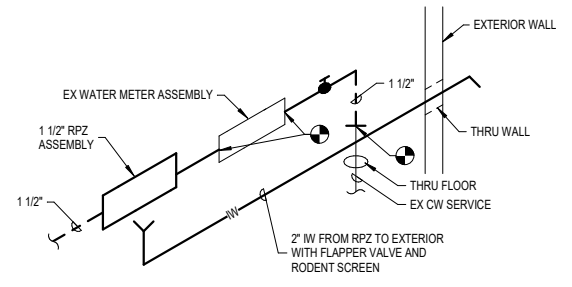
MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: 301.030.002		
DATE: OCTOBER 18, 2023		
DRAWN BY: A. GLEASON		
DESIGNED BY: A. GLEASON		
CHECKED BY: J. DELEO		
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

**REMOVAL PLAN,  
 GENERAL NOTES,  
 LEGEND, FIXTURE  
 SCHEDULE, & RISER  
 DIAGRAM**

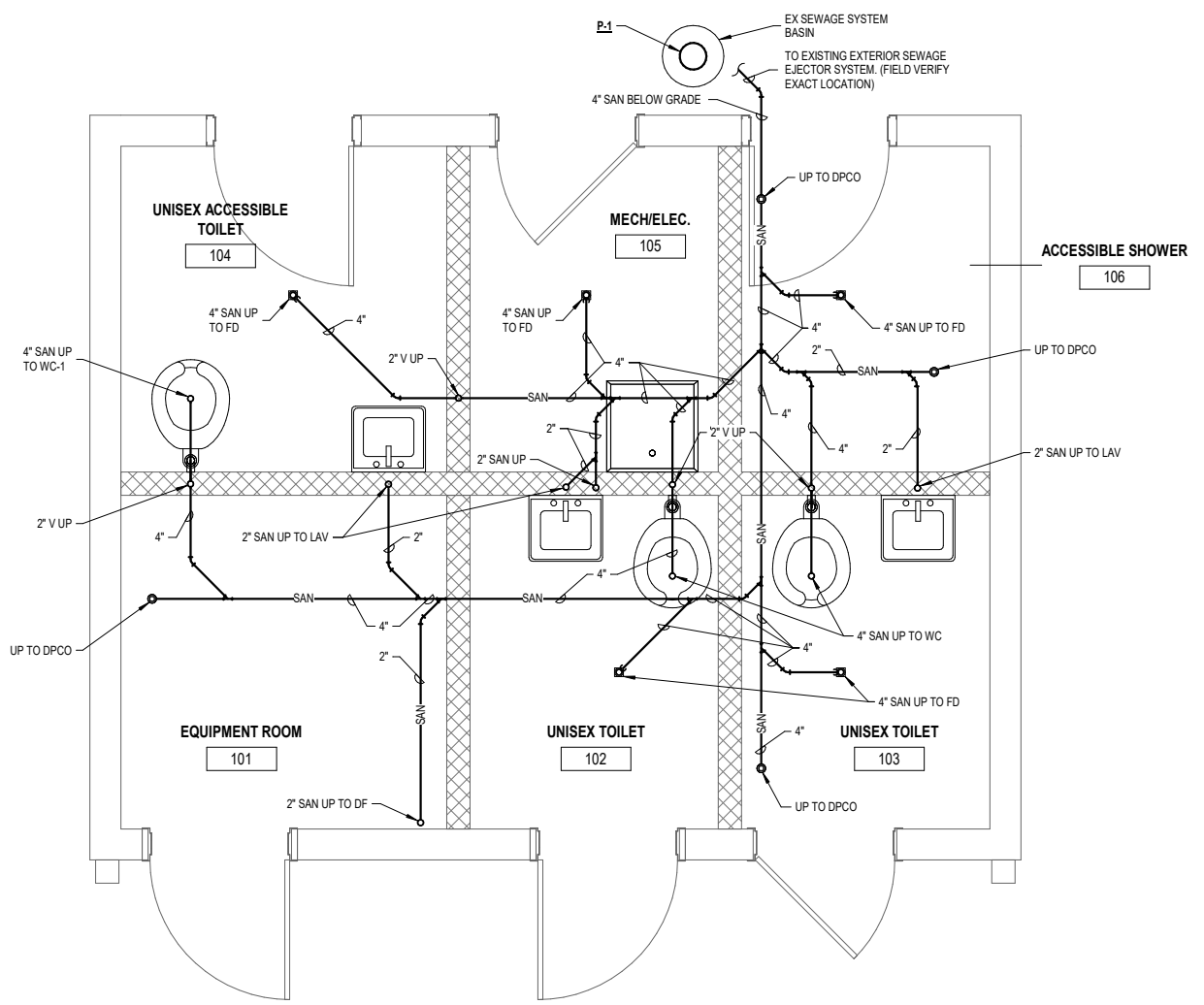
**PD-101**



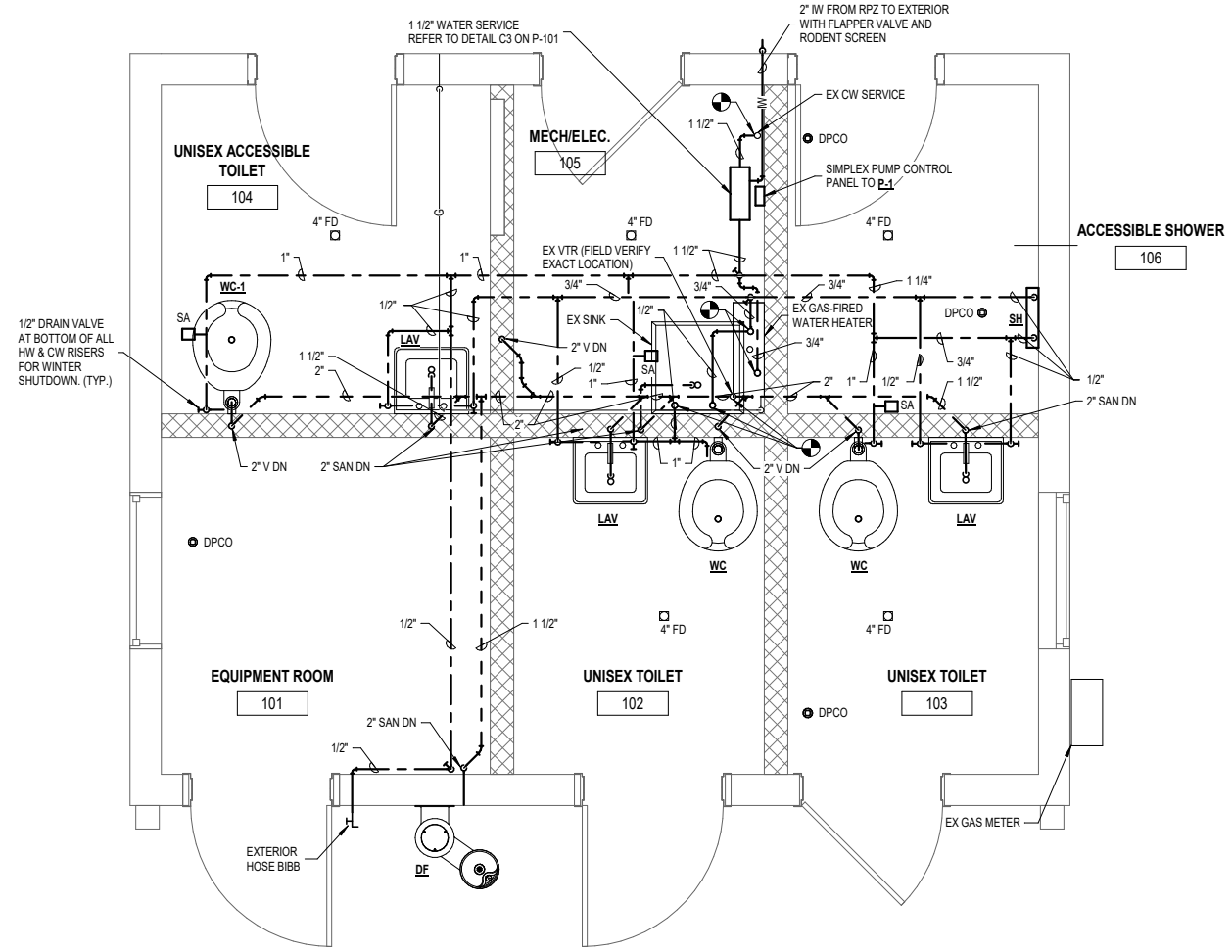
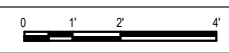
**C1 SEWAGE EJECTOR PUMP (P-1) DETAIL**  
SCALE: NOT TO SCALE



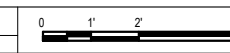
**C3 WATER SERVICE DETAIL**  
SCALE: NOT TO SCALE



**A1 BELOW SLAB TOILET AREA PLAN**  
SCALE: 1/2" = 1'-0"



**A3 ABOVE FLOOR TOILET AREA PLAN**  
SCALE: 1/2" = 1'-0"



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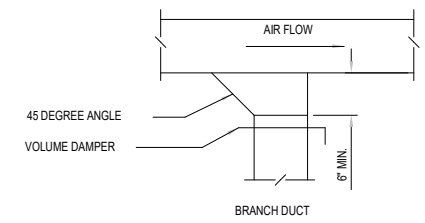
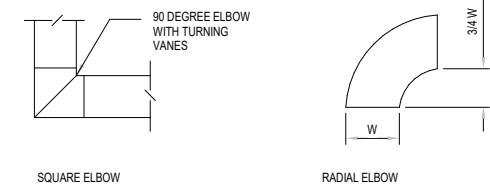
**FLOOR PLANS & DETAILS**

**P-101**

AHU	AIR HANDLING UNIT	EXH	EXHAUST AIR
AMP	AMPERES	(E), EXIST	EXISTING
APD	AIR PRESSURE DROP	EF	EXHAUST FAN
A.F.F.	ABOVE FINISHED FLOOR	'F	FAHRENHEIT
BHP	BRAKE HORSE POWER	FC	FLEXIBLE CONNECTION
BTU	BRITISH THERMAL UNIT	FPM	FEET PER MINUTE
BTUH	BRITISH THERMAL UNIT PER HOUR	FT	FEET
CFM	CUBIC FEET PER MINUTE	IN	INCH
dB	DECIBELS	RPM	REVOLUTION PER MINUTE
DB	DRY BULB TEMPERATURE	SQ	SQUARE
DN	DOWN	WG	WATER GAUGE
EAT	ENTERING AIR TEMPERATURE		DISCONNECT FROM EXISTING
ENC	ENCLOSURE		CONNECT TO EXISTING
	GENERAL EQUIPMENT DESIGNATION		
	KEYNOTE		

EXHAUST FAN SCHEDULE										
UNIT NO.	LOCATION	TYPE	DRIVE	AIR FLOW (CFM)	ESP (IN WG)	MAX RPM	ELECTRICAL		BASIS OF DESIGN - GREENHECK	REMARKS
							VOLTS	PHASE		
EF-1	MECH/ELEC. 105	EXHAUST	DIRECT	350	0.375	1725	115	1	SQ-80-VG6X	-

AIR INLET AND OUTLET SCHEDULE								
TYPE	DESCRIPTION	FACE SIZE (IN)	NECK SIZE	MAX N.C.	MAX PD IN WG	MATERIAL	BASIS OF DESIGN - PRICE	REMARKS
E1	RETURN REGISTER	SEE PLANS	SEE PLANS	30	0.05	ALUMINUM	630D	--



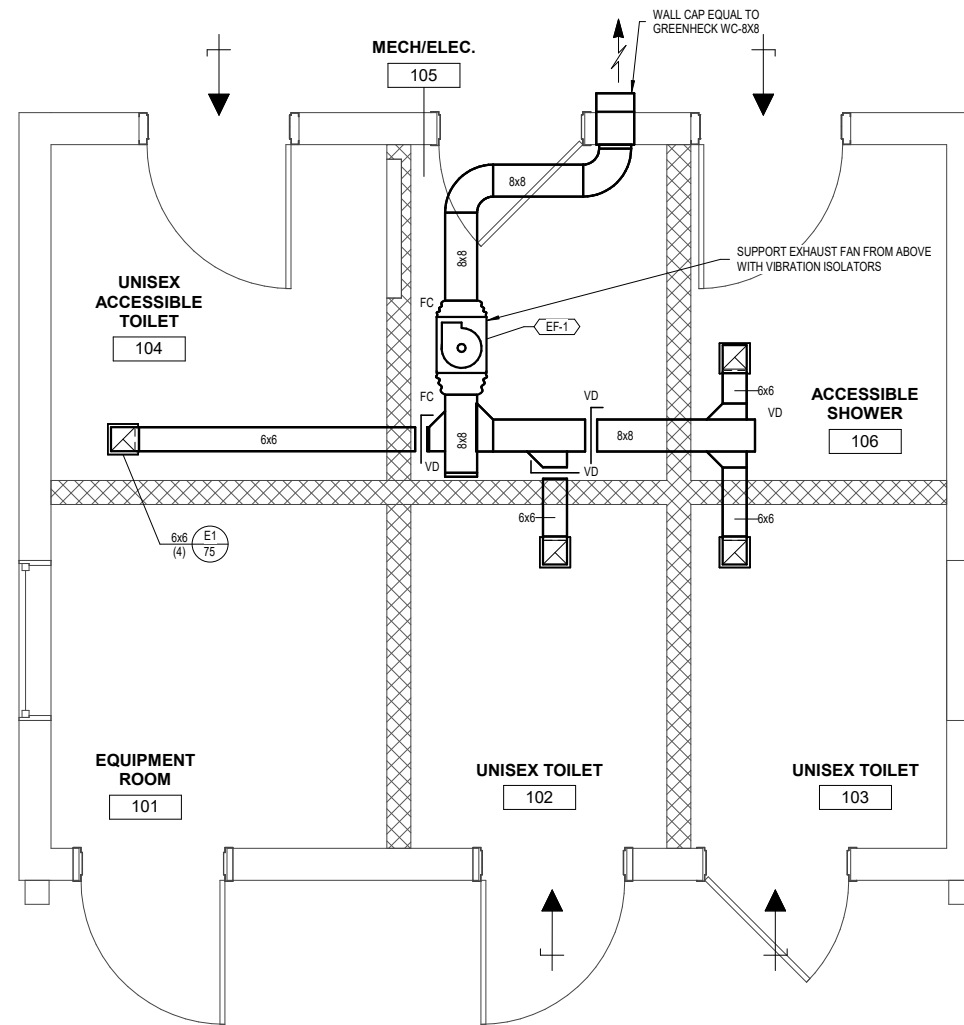
NOTES:  
1. CONTRACTOR HAS OPTION OF PROVIDING EITHER SQUARE ELBOW OR RADIAL ELBOW.

**C1 SYMBOLS & ABBREVIATIONS**  
SCALE: NOT TO SCALE

**C2 SCHEDULES**  
SCALE: NOT TO SCALE

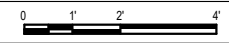
**C4 DUCT DETAIL**  
SCALE: NOT TO SCALE

- ALL WORK SHALL CONFORM TO ALL APPLICABLE RULES, REGULATIONS AND CODES, INCLUDING BUT NOT LIMITED TO NEW YORK ENERGY CODE, NEW YORK BUILDING CODE AND OSHA.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO DUCTWORK FABRICATION OR ANY OTHER MECHANICAL WORK. MECHANICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF EQUIPMENT, PIPING, DUCTWORK, AND PADS WITH OTHER CONTRACTORS. PROVIDE FITTINGS, ELEVATION CHANGES, TRANSITIONS, AND OFFSETS REQUIRED, WHETHER SHOWN OR NOT, TO AVOID CONFLICTS WITH WORK OF OTHER CONTRACTS.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL HVAC PENETRATIONS (PIPING, DUCTWORK, ETC) IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE AND WHERE SHOWN OR SPECIFIED.
- ITEMS OF SPECIFIC MANUFACTURER'S SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE PRINTED INSTRUCTIONS AND/OR MANUFACTURER'S REPRESENTATIVE DIRECTIONS.
- MECHANICAL CONTRACTOR TO INSTALL ALL NECESSARY STIFFENERS, BRACES, STRUTS, ETC, WHETHER SHOWN OR NOT, TO PROVIDE A COMPLETE, SAFE, AND DURABLE SYSTEM.
- DIMENSIONS SHOWN "AFF" INDICATE THE ACTUAL CLEAR DIMENSIONS FROM THE BOTTOM OF THE UNIT TO THE FINISHED FLOOR ELEVATION; UNLESS INDICATED OTHERWISE.
- ALL DUCT DIMENSIONS SHOWN ARE "SIDE SEEN" BY "SIDE NOT SEEN" AND ARE THE CLEAR INSIDE DIMENSIONS UNLESS OTHERWISE NOTED.
- BRANCH DUCTS TO REGISTER SHALL BE THE SAME SIZE AS REGISTER UNLESS INDICATED OTHERWISE.
- PROVIDE ALL CONTROL AND INTERLOCK WIRING REQUIRED OR SPECIFIED THAT IS NOT PROVIDED BY THE ELECTRICAL CONTRACTOR.
- COORDINATE WITH ELECTRICAL CONTRACTOR AND FIRE PROTECTION CONTRACTOR REGARDING THE RESPONSIBILITIES FOR SUPPLYING, INSTALLING AND WIRING OF HVAC-RELATED DISCONNECT SWITCHES, STARTERS, SAFETY INTERLOCKS, EMERGENCY SHUTDOWN AND WIRING.
- WORK ON M-SERIES DRAWINGS IS BY THE MECHANICAL CONTRACTOR (MC) UNLESS OTHERWISE NOTED.
- VERIFY ALL LOCATIONS, DIMENSIONS, EQUIPMENT ARRANGEMENTS, CLEARANCES AND ELECTRICAL CHARACTERISTICS IN THE FIELD PRIOR TO BID. PROMPTLY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- PRIOR TO CUTTING THROUGH FLOORS AND WALLS THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL STRUCTURAL MEMBERS, JOISTS, AND OR COLUMNS. PROMPTLY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES. DO NOT CUT ANY STRUCTURAL MEMBERS UNLESS SPECIFICALLY DIRECTED TO DO SO.



**A1 GENERAL NOTES**  
SCALE: NOT TO SCALE

**A2 FIRST FLOOR HVAC PLAN**  
SCALE: 1/2" = 1'-0"



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**GOBLE MARINA BATH HOUSE  
PORT OF OSWEGO AUTHORITY  
W 1ST ST OSWEGO NY, 13126**

MARK	DATE	DESCRIPTION

REVISIONS

PROJECT NO:	301.030.002
DATE:	OCTOBER 18, 2023
DRAWN BY:	A. GLEASON
DESIGNED BY:	A. GLEASON
CHECKED BY:	L. MERRY

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**FIRST FLOOR PLAN,  
GENERAL NOTES,  
SYMBOLS, SCHEDULES,  
& DETAILS**

**M-101**

ONE-LINE SYMBOLS	
	CIRCUIT BREAKER (TICKS INDICATE NUMBER OF POLES)
	FUSED DISCONNECT SWITCH (TICKS INDICATE NUMBER OF POLES)
	TRANSFORMER
	GROUND
	METER
	CONTACTOR ("M" DENOTES MOTOR CONTACTOR)
	PANELBOARD

**C2 ONELINE SYMBOLS**  
SCALE: NOT TO SCALE

PLAN SYMBOLS	
	EXISTING WORK LINETYPE
	DEMOLITION WORK LINETYPES
	NEW WORK LINETYPE
	DUPLEX RECEPTACLE, MOUNT AT 18" AFF UNLESS NOTATION INDICATES OTHERWISE. CTR = GROUND FAULT INTERRUPTER TYPE, ABOVE COUNTER, 41" AFF UNLESS OTHERWISE NOTED. IG = ISOLATED GROUND GFI = GROUND FAULT CIRCUIT INTERRUPTER, MOUNT AT 48" AFF UNLESS OTHERWISE NOTED WP = GFI WITH WEATHERPROOF COVER, MOUNT AT 42" AFF UNLESS OTHERWISE NOTED XP = EXPLOSION PROOF SP = SURGE PROTECTED
	QUAD RECEPTACLE, MOUNT 18" AFF UNLESS OTHERWISE NOTED
	SINGLE POLE SWITCH, UNLESS NOTATION INDICATES OTHERWISE. OS = OCCUPANCY SENSOR OSD = OCCUPANCY SENSOR WITH DIMMER 2 = DOUBLE POLE SWITCH 3 = THREE-WAY SWITCH 4 = FOUR-WAY SWITCH D = DIMMER SWITCH K = KEYED SWITCH M = MANUAL MOTOR STARTER T = TIMER SWITCH LV = LOW VOLTAGE SWITCH
	PHOTO CELL FOR EXTERIOR LIGHTING CONTROL
	COMBINATION MOTOR STARTER/CIRCUIT BREAKER DISCONNECT SWITCH VFD = VARIABLE FREQUENCY DRIVE
	FUSED DISCONNECT SWITCH
	NON FUSED DISCONNECT SWITCH
	JUNCTION BOX
	ELECTRICAL MOTOR (SEE EQUIPMENT CONNECTION SCHEDULE)
	PANEL BOARD, REFER TO PANEL BOARD SCHEDULE
	BRANCH CIRCUIT HOME RUN WITH CIRCUIT NUMBER SEE PANEL SCHEDULES FOR DETAILS
	1'x4' LUMINAIRE, LETTER DENOTES TYPE, SEE LUMINAIRE SCHEDULE NL = NIGHT LIGHT
	RECESSED DOWN LIGHT, LETTER DENOTES TYPE, SEE LUMINAIRE SCHEDULE NL = NIGHT LIGHT
	INDICATES WALL MOUNTED LUMINAIRE, LETTER DENOTES TYPE, SEE LUMINAIRE SCHEDULE
	INDICATES EMERGENCY LUMINAIRE, LETTER DENOTES TYPE, SEE LUMINAIRE SCHEDULE NL = NIGHT LIGHT
	EMERGENCY LIGHT WITH BATTERY PACK
	CEILING MOUNTED OCCUPANCY SENSOR
	EXIT LUMINAIRE, SHADED AREA DENOTES FACE, LETTER DENOTES TYPE

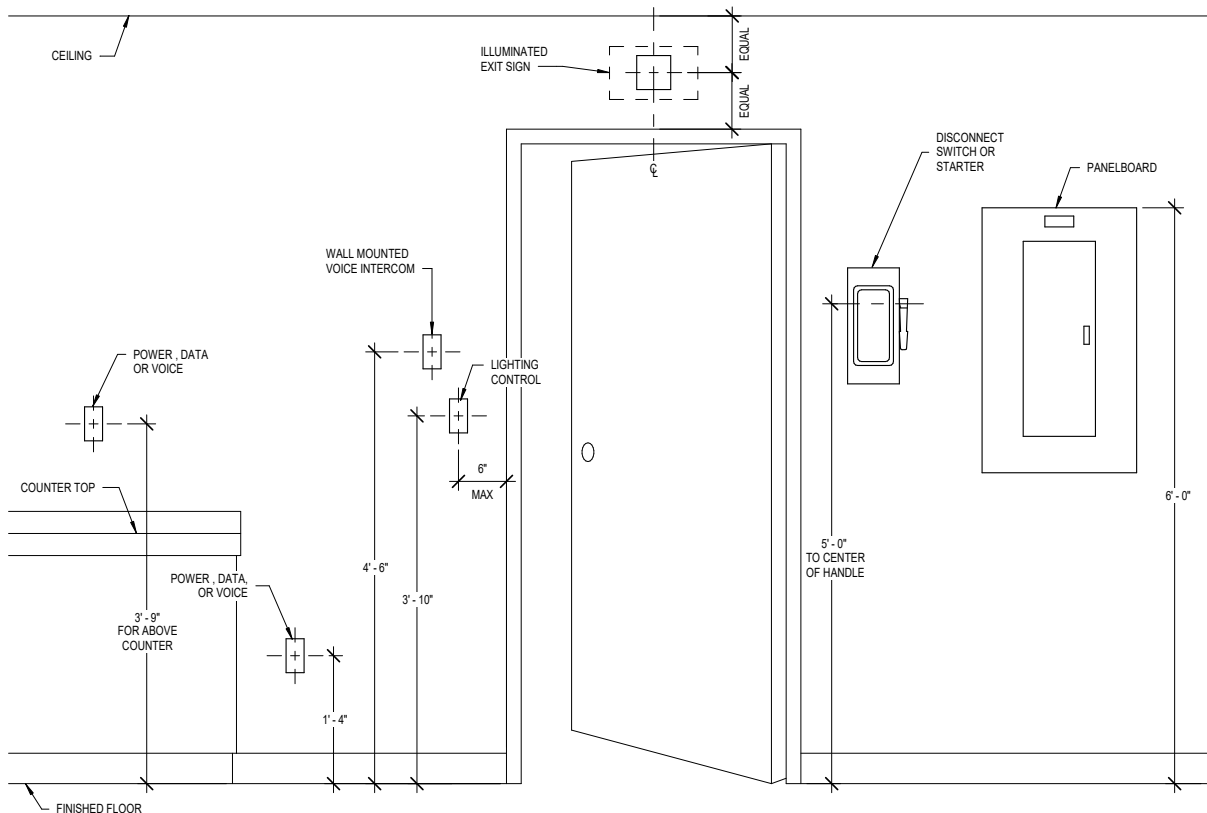
**A3 PLAN SYMBOLS**  
SCALE: NOT TO SCALE

- ALL ELECTRICAL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND NATIONAL ELECTRICAL CODES.
- ELECTRICAL CHARACTERISTICS SHALL BE VERIFIED WITH EQUIPMENT MANUFACTURER.
- ITEMS OF SPECIFIC MANUFACTURERS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS AND/OR MANUFACTURER'S REPRESENTATIVE'S DIRECTIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND DIMENSIONS SHOWN ON DRAWINGS
- ALL CONDUIT AND WIRING SCHEDULES SHALL BE VERIFIED BEFORE INSTALLATION.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL EQUIPMENT WITH OTHER CONTRACTORS.
- ALL AREAS DISTURBED BY WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ORIGINAL AS DETERMINED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE RACEWAYS, WIRING, AND CONNECTIONS FOR ALL CONTROL CIRCUITS AND INTERLOCK.
- ALL ELECTRICAL CONDUIT AND CONDUCTORS DISCONNECTED AND NOT TO BE REUSED SHALL BE REMOVED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE STARTING WORK. IF ONLY A PORTION OF AN EXISTING CIRCUIT IS BEING REMOVED FOR DEMOLITION, CONTINUITY SHALL BE MAINTAINED TO THE REST OF THE REMAINING CIRCUIT.
- ALL BRANCH CIRCUIT CONDUCTORS SHALL BE #12AWG UNLESS OTHERWISE SHOWN.
- ALL BRANCH CIRCUITS SHALL CONSIST OF 2 CONDUCTORS PLUS GROUND, UNLESS OTHERWISE SHOWN.

**C4 ELECTRICAL GENERAL NOTES**  
SCALE: NOT TO SCALE

A	AMPERE	L	LENGTH, LONG
AC	AIR CONDITIONING	LGT	LIGHTING
ACC	ALTERNATE CURRENT	MA	MILLIAMPERES
ACCU	AIR COOLED CONDENSING UNIT	MBB	MONITOR BREAKOUT BOX
AF	AMPERE FRAME	MCB	MAIN CIRCUIT BREAKER
AFF	ABOVE FINISHED FLOOR	MCC	MOTOR CONTROL CENTER
AFG	ABOVE FINISHED GRADE	MCM	1000 CIRCULAR MILLS
AH	AIR HANDLER	MECH	MECHANICAL
AIC	AMPERE INTERRUPTING CAPACITY	MIC	MICROPHONE
AT	AMPERE TRIP	MIN	MINIMUM
ATS	AUTOMATIC TRANSFER SWITCH	MISC	MISCELLANEOUS
AU	AT UNIT	MLO	MAIN LUGS ONLY
AUX	AUXILIARY	MM	MULTIMODE
AWG	AMERICAN WIRE GAUGE	MTD	MOUNTED
BC	BARE COPPER	N/A	NOT APPLICABLE
BFG	BELOW FINISHED GRADE	NC	NORMALLY CLOSED
BRK	BREAKER	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASS.
BOH	BACK OF HOUSE	NF	NON-FUSED
C	CONDUIT	NFPA	NATIONAL FIRE PROTECTION ASS.
CAB	CABLE	NO	NORMALLY OPEN
CAB	CABINET	NTS	NOT TO SCALE
CATSE	CATEGORY-SE	OLS	OVERLOADS
CC	CABLED CONDUCTORS	OC	ON CENTER
CH	CIRCUIT	P	POLE
CKT	CIRCUIT	PB	PULLBOX
CLL	CONTRACT LIMIT LINE	PNL	PANEL
CMH	COMMUNICATION MANHOLE	PR	PAIR
CO	CONDUIT ONLY	PRV	POLYVINYL CHLORIDE
COMM	COMMUNICATION	PWR	POTENTIAL
CPB	COMMUNICATION PULLBOX	POC	POINT OF CONNECTION
CT	CURRENT TRANSFORMER	POS	POINT OF SALES
CTR	ABOVE COUNTER	PT	POTENTIAL TRANSFORMER
CUC	COMMON USER CABLE	REF	REFERENCE
CUTC	COMMON USER TERMINAL CABINET	REM	REMARKS
D	DEEP	RIG	RIGID GALVANIZED STEEL
DC	DIRECT CURRENT	RM	ROOM
DISC	DISCONNECT	RMS	ROOT-MEAN-SQUARE
DN	DOWN	RCPT	RECEPTACLE
DP	DISTRIBUTION PANEL	SBB	SOUND BREAKOUT BOX
DPST	DOUBLE POLE SINGLE THROW	SDB	SOUND DISTRIBUTION BOX
DPOT	DOUBLE POLE DOUBLE THROW	SLC	SIGNALING LINE CIRCUIT
EER	ELECTRICAL EQUIPMENT ROOM	SM	SINGLE MODE
ELECT	ELECTRICAL	SPECS	SPECIFICATIONS
ELEV	ELEVATION	SPKR	SPEAKER
EMT	ELECTRICAL METALLIC TUBING	SPST	SINGLE POLE SINGLE THROW
EQUIP	EQUIPMENT	SPDT	SINGLE POLE DOUBLE THROW
EXIST	EXISTING	SR	SOUND RACK
F	FUSE	SST	STAINLESS STEEL
FA	FIRE ALARM	ST	SHUNT TRIP
FACP	FIRE ALARM CONTROL PANEL	SW	SWITCH
FAT	FIRE ALARM TERMINATION	SWBD	SWITCHBOARD
FBO	FURNISHED BY OWNER	TEL	TELEPHONE
FD/SD	FIRE DAMPER / SMOKE DETECTOR	TP	TWISTED PAIR CABLE
FDR	FEEDER	TTB	TELEPHONE TERMINAL BOARD
FLA	FULL LOAD AMPERES	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPT	UON	UNLESS OTHERWISE NOTED
GND	GROUND	V	VOLT
H	HIGH	VFD	VARIABLE FREQUENCY DRIVE
HP	HORSEPOWER	W	WATT, WIRE, WIDE
HZ	HERTZ	WP	WEATHERPROOF
IC	INTERCOM	XFMR	TRANSFORMER
IG	ISOLATED GROUND	XP	EXPLOSION PROOF
IMC	INTERMEDIATE METAL CONDUIT		
JB	JUNCTION BOX		
KA	KILOAMP		
KV	KILOVOLT		
KVA	KILOVOLT AMPERES		
KW	KILOWATT		
KWH	KILOWATT HOUR		
KWHD	KILOWATT HOUR DEMAND METER		

**A4 ABBREVIATIONS**  
SCALE: NOT TO SCALE



**A1 DEVICE ELEVATION DETAIL**  
SCALE: NOT TO SCALE



**C&S Engineers, Inc.**  
499 Col. Eileen Collins Blvd.  
Syracuse, New York 13212  
Phone: 315-455-2000  
Fax: 315-455-9667  
www.cscos.com

CERTIFICATE OF AUTHORIZATION# 0018122

REGISTRATION EXPIRES: / /



**GOBLE MARINA BATH HOUSE**  
**PORT OF OSWEGO AUTHORITY**  
**W 1ST ST OSWEGO NY, 13126**

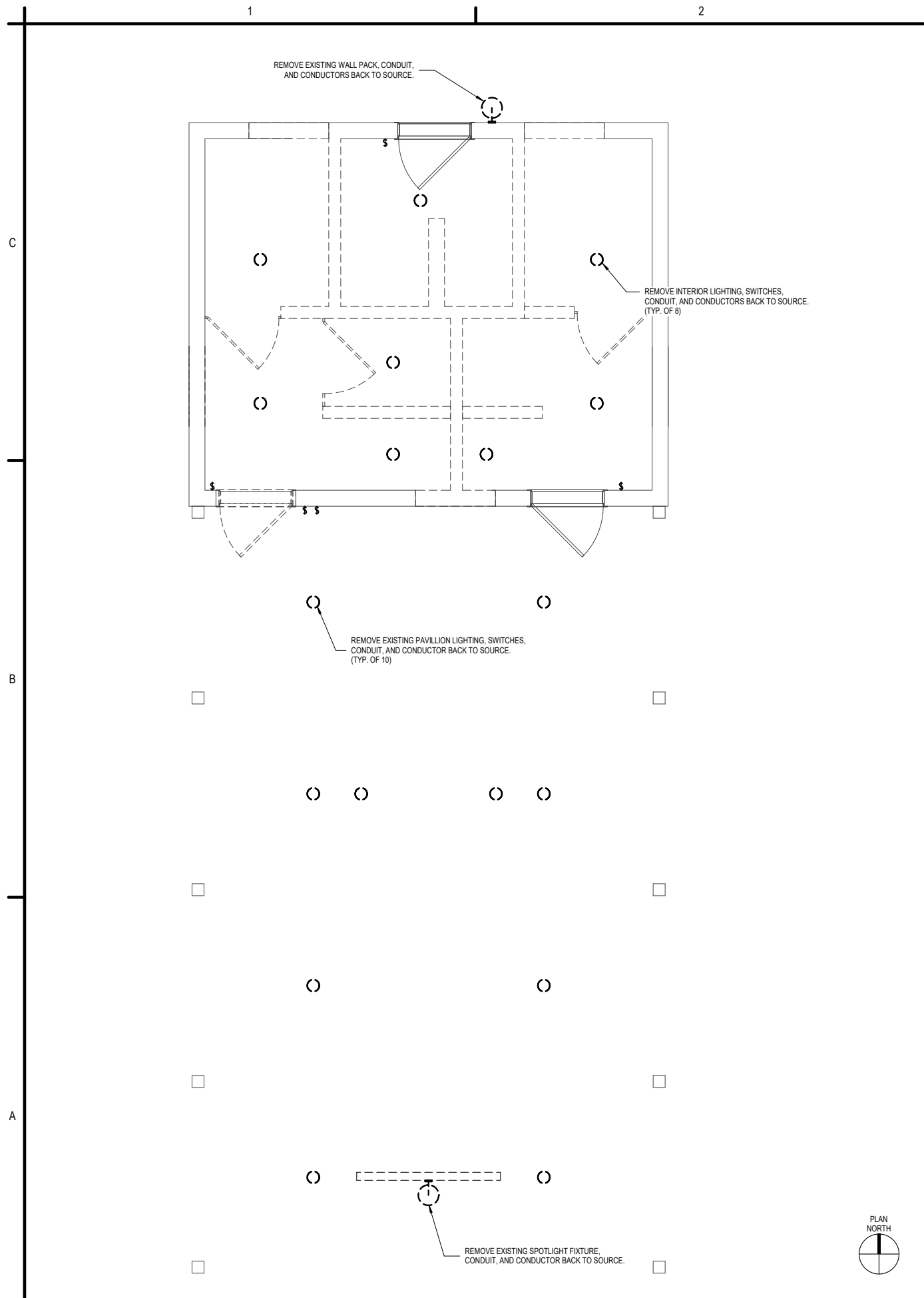
MARK	DATE	DESCRIPTION

REVISIONS

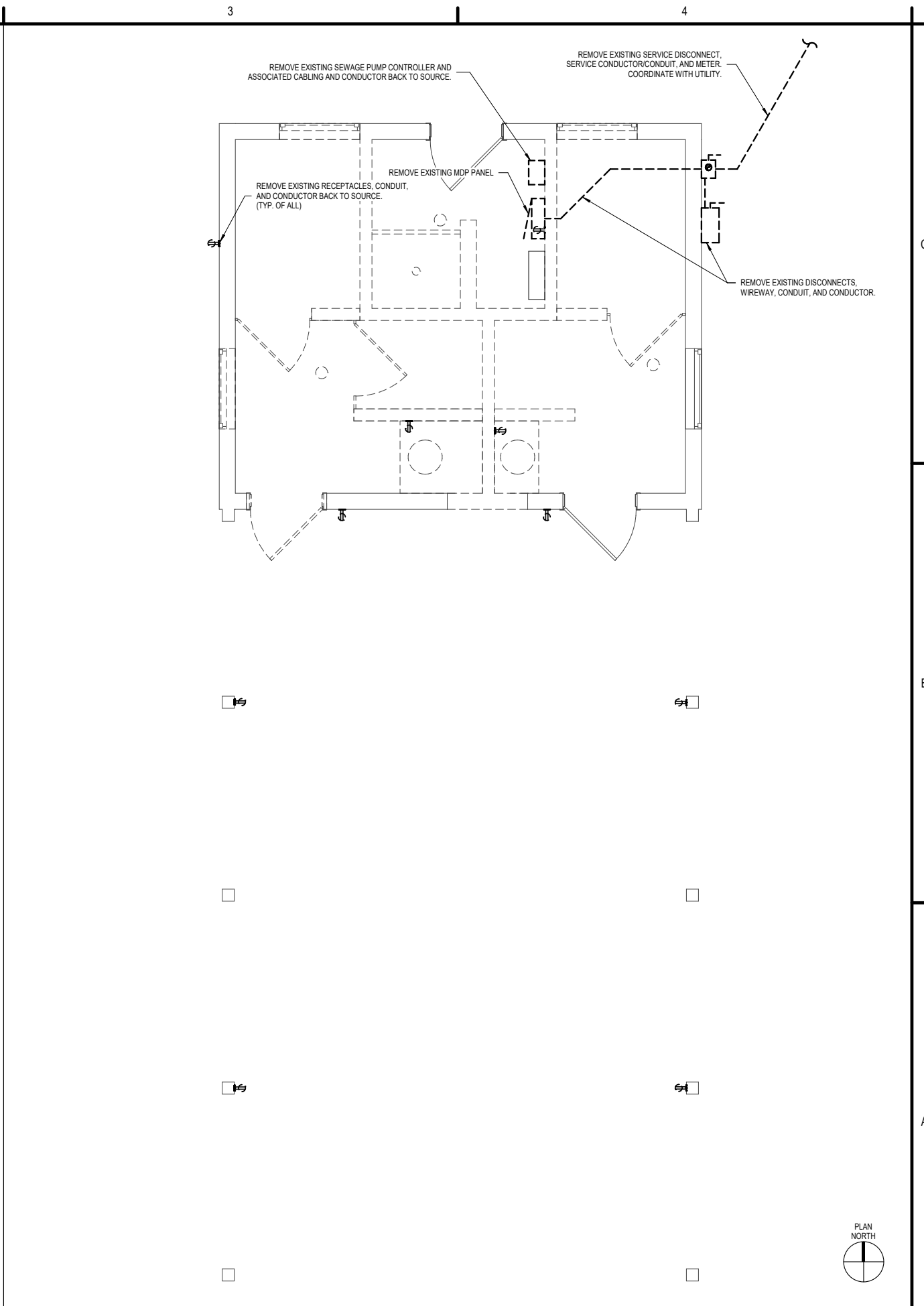
PROJECT NO:	301.030.002
DATE:	OCTOBER 18, 2023
DRAWN BY:	S.R. PINE
DESIGNED BY:	S.R. PINE
CHECKED BY:	F.K. NEILEY, P.E.

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

**ELECTRICAL GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS**



**A1** FIRST FLOOR LIGHTING DEMOLITION PLAN  
SCALE: 3/8" = 1'-0"



**A3** FIRST FLOOR ELECTRICAL DEMOLITION PLAN  
SCALE: 3/8" = 1'-0"



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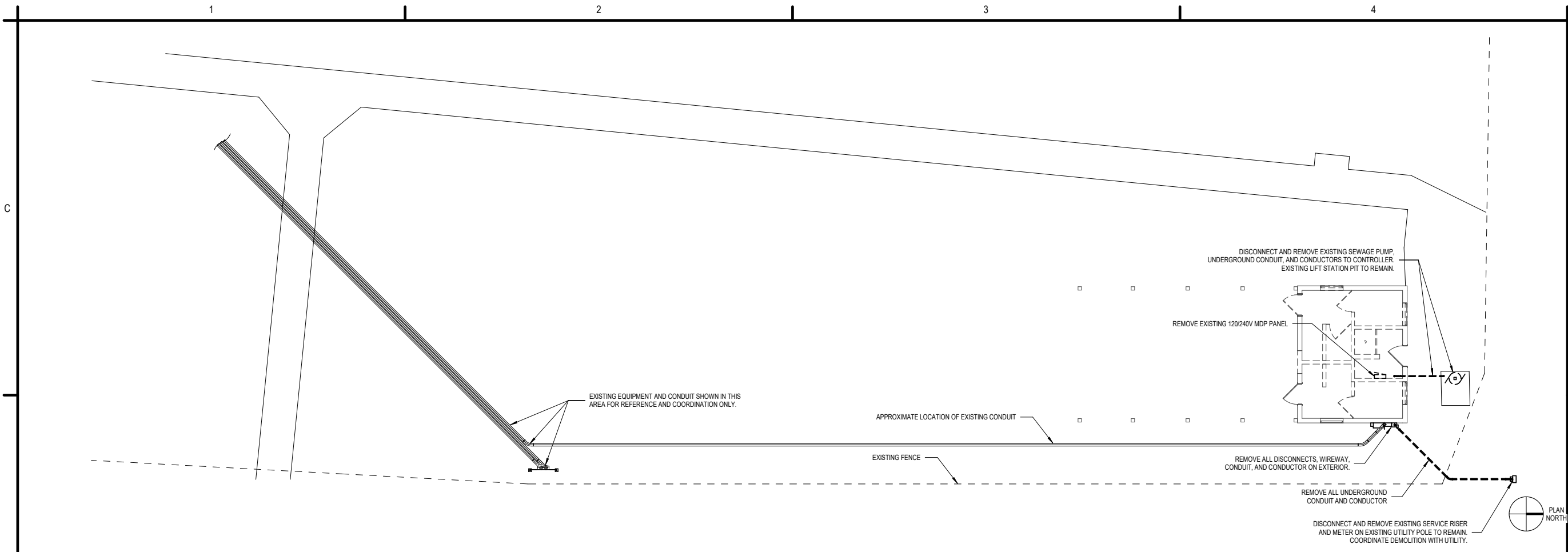
MARK	DATE	DESCRIPTION
REVISIONS		

PROJECT NO: 301.030.002  
DATE: OCTOBER 18, 2023  
DRAWN BY: S.R. PINE  
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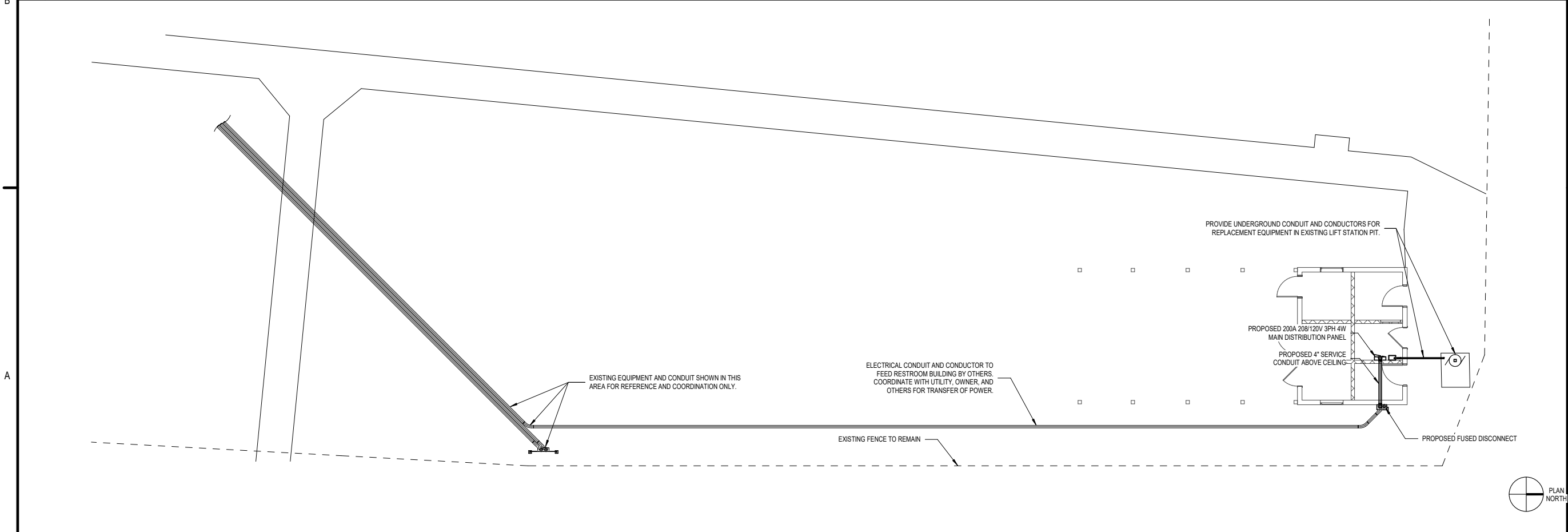
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**ELECTRICAL  
DEMOLITION PLANS**

**ED-101**



**B1 ELECTRICAL SITE DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**A1 ELECTRICAL SITE PLAN**  
SCALE: 1/8" = 1'-0"



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CERTIFICATE OF AUTHORIZATION# 0018122

REGISTRATION EXPIRES: / /



**GOBLE MARINA BATH HOUSE  
PORT OF OSWEGO AUTHORITY  
W 1ST ST OSWEGO NY, 13126**

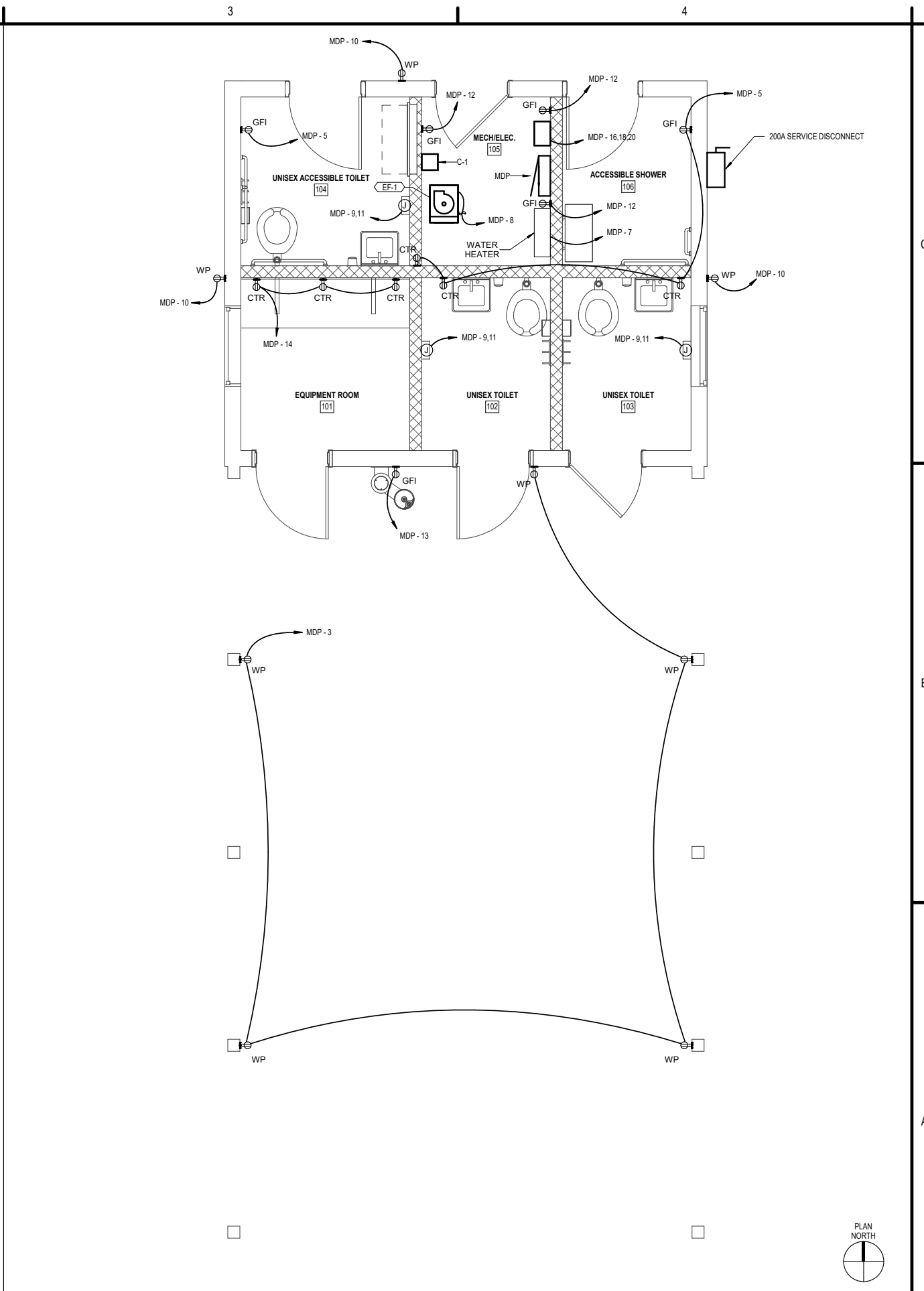
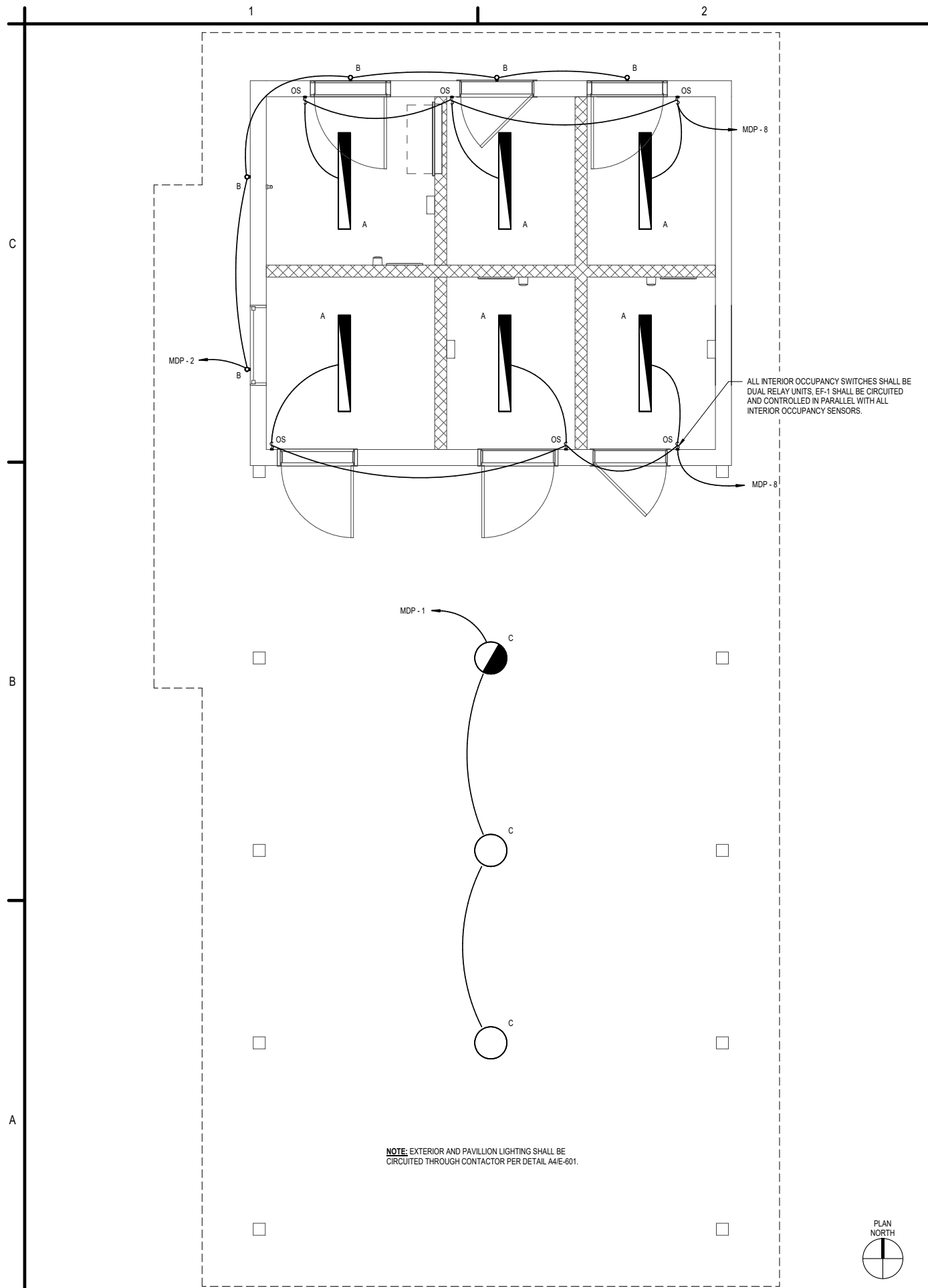
MARK	DATE	DESCRIPTION
REVISIONS		

PROJECT NO:	301.030.002
DATE:	OCTOBER 18, 2023
DRAWN BY:	S.R. PINE
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**ELECTRICAL SITE PLAN**

**E-100**



**C&S Engineers, Inc.**  
 499 Col. Eileen Collins Blvd.  
 Syracuse, New York 13212  
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 Fax: 315-455-9667  
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CERTIFICATE OF AUTHORIZATION# 0018122

REGISTRATION EXPIRES: / /



**GOBLE MARINA BATH HOUSE  
 PORT OF OSWEGO AUTHORITY  
 W 1ST ST OSWEGO NY, 13126**

MARK	DATE	DESCRIPTION
REVISIONS		

PROJECT NO: 301.030.002  
 DATE: OCTOBER 18, 2023  
 DRAWN BY: S.R. PINE  
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 CHECKED BY: F.K. NEILEY, P.E.

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**ELECTRICAL  
 PROPOSED PLANS**

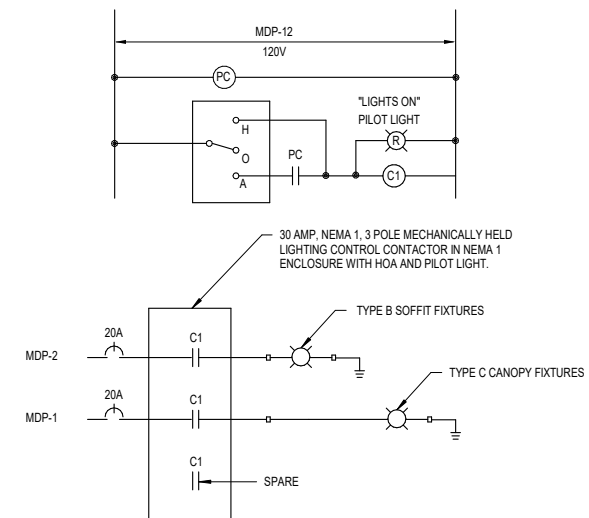
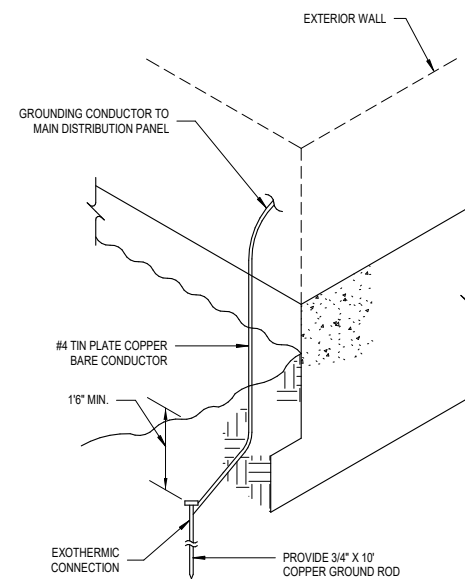
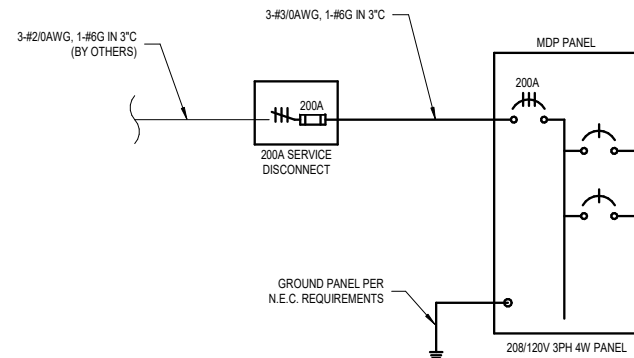
**E-101**

**A1 FIRST FLOOR LIGHTING PLAN**  
 SCALE: 3/8" = 1'-0"

**A3 FIRST FLOOR ELECTRICAL PLAN**  
 SCALE: 3/8" = 1'-0"

PANEL SCHEDULE MDP														
BUS SIZE: 225 A			MAIN TYPE: MCB			INSTALLATION: SURFACE								
VOLTS: 120/208 Wye			MAIN BREAKER: 200 A			LOCATION:								
PHASE: 3			GND. BAR TYPE: COPPER			NOTES:								
WIRE: 4			SC RATING: 30 KAIC											
POLES: 24			ENCLOSURE: NEMA 1											
CIRCUIT DESCRIPTION	WIRE SIZE	CONDUIT	CB. AMPS	Poles	CK T	A	B	C	CK T	Poles	CB. AMPS	CONDUIT	WIRE SIZE	CIRCUIT DESCRIPTION
PAVILLION LIGHTING (C-1 CONTACTOR)	1-#12, 1-#12, 1-#12	3/4"	20 A	1	1				2	1	20 A	3/4"	1-#12, 1-#12, 1-#12	EXT. WALL PACK LIGHTING (C-1 CONTACTOR)
PAVILLION RECEPTACLES	1-#12, 1-#12, 1-#12	3/4"	20 A	1	3				4	1	20 A	--	--	SPARE
RESTROOM AND SHOWER RECEPTACLES	1-#12, 1-#12, 1-#12	3/4"	20 A	1	5				6	1	20 A	--	--	SPARE
WATER HEATER POWER	1-#12, 1-#12, 1-#12	3/4"	20 A	1	7				8	1	20 A	3/4"	1-#12, 1-#12, 1-#12	INTERIOR LIGHTING AND EF-1 EXTERIOR RECEPTACLES
HAND DRYER POWER	2-#12, 1-#12	3/4"	20 A	2	9				10	1	20 A	3/4"	1-#12, 1-#12, 1-#12	MECH/ELEC ROOM RECEPTACLES
WATER COOLER RECEPTACLE	1-#12, 1-#12, 1-#12	3/4"	20 A	1	13				12	1	20 A	3/4"	1-#12, 1-#12, 1-#12	EQUIPMENT ROOM RECEPTACLES
SPARE	--	--	20 A	1	15				16					
SPARE	--	--	20 A	1	17				18	3	20 A	1 1/2"	3-#12, 1-#12	SEWAGE PUMP AND CONTROLLER
SPARE	--	--	20 A	3	19				20					
					21				22					
					23				24	2	20 A	--	--	SPARE

MASTER LUMINAIRE SCHEDULE LED									
FIXTURE LABEL	MANUFACTURER	MODEL NUMBER	LAMP TYPE	VOLTS	DRIVER	LUMENS PER UNIT	COLOR TEMP / CRI	MOUNTING	REMARKS
A	JADEMAR	JADLS-46-40W-CS-D-EM15	40W LED	120	DIMMABLE	3708	4,000K/80CRI	SURFACE	PROVIDE EM DRIVERS
B	SOLERA	SSL-25-3W-428-4000K-UNV-RTC-CG-D-BZ	3W LED	120	DIMMABLE	428	4,000K/80CRI	WALL MOUNT	
C	LSI INDUSTRIES	OPS-SD-8L-5Q-UNV-40K8-BRZ-IMSBT1L-CWBB	55W LED	120	DIMMABLE	8139	4,000K/80CRI	SURFACE	PROVIDE WITH INTEGRAL MOTION SENSOR AND BATTERY BACKUP



NOTE: CONTACTOR SHALL BE LABELED "C-1" AS NOTED ON FLOOR PLANS. INSTALL CONTACTOR IN RM. 105. PROVIDE PLASTIC ENGRAVED LABEL. MOUNT PHOTO CELL ON EXTERIOR OF NORTH WALL. COIL CLEARING CONTACTS AND UNLATCH COIL NOT SHOWN.

**A1 ONE-LINE DIAGRAM**  
SCALE: NOT TO SCALE

**A3 GROUNDING DETAIL**  
SCALE: NOT TO SCALE

**A4 EXTERIOR LIGHTING DETAIL**  
SCALE: NOT TO SCALE



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CERTIFICATE OF AUTHORIZATION# 0018122

REGISTRATION EXPIRES: / /



**GOBLE MARINA BATH HOUSE  
PORT OF OSWEGO AUTHORITY  
W 1ST ST OSWEGO NY, 13126**

MARK	DATE	DESCRIPTION

REVISIONS	
PROJECT NO:	301.030.002
DATE:	OCTOBER 18, 2023
DRAWN BY:	S.R. PINE
DESIGNED BY:	S.R. PINE
CHECKED BY:	F.K. NEILEY, P.E.

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**ELECTRICAL SCHEDULES AND DETAILS**

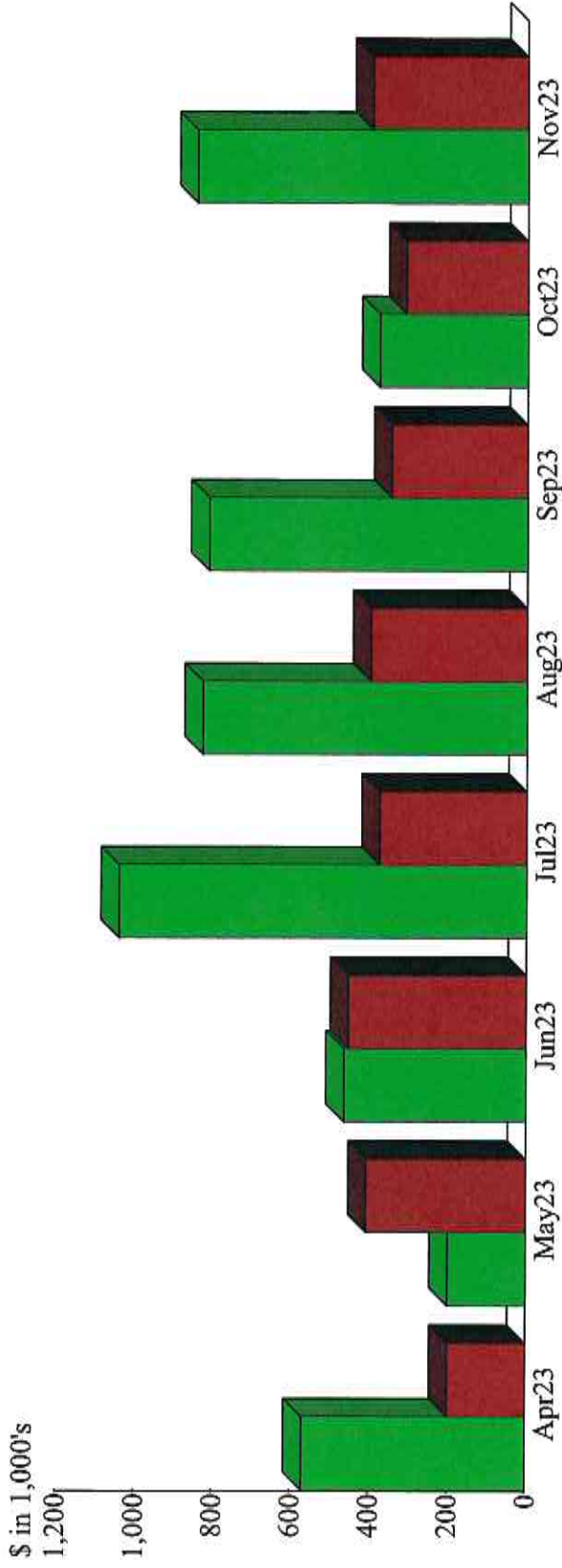
**E-601**



# Exhibit C-1

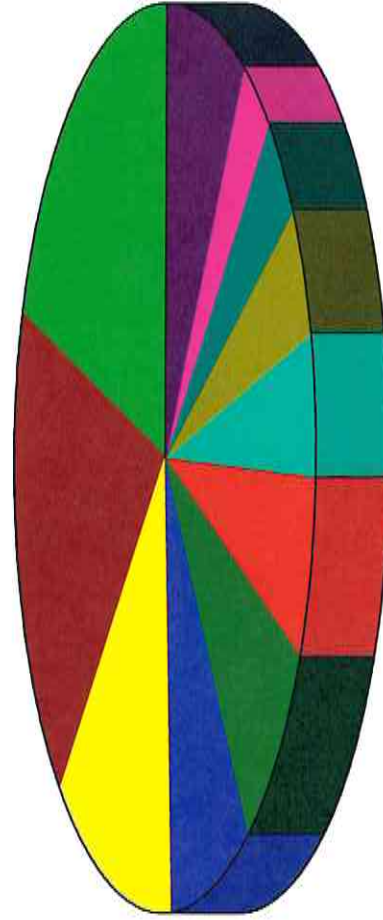
### Income and Expense by Month April through November 2023

Income  
Expense



### Income Summary April through November 2023

4600000 · Stevedoring	19.93%
9000017 · FEMA DR 4348	18.18
4800000 · Marina Income	13.00
4400000 · Rental	8.61
9001400 · REDI - Goble Marina	8.32
4300000 · Loading and Unloading	6.54
9000020 · Auction / Sale of equipment	5.17
4500000 · Misc Income	4.90
9000014 · NYS Grant Pin 3935.59 ET Pier	4.05
4200000 · Wharfage	3.39
Other	7.92
<b>Total</b>	<b>\$5,130,160.69</b>



By Account

**Port of Oswego Authority**  
**Cash Position**  
 As of November 30, 2023

	<u>Beginning Balance</u>	<u>Debit</u>	<u>Credit</u>	<u>Net Change</u>	<u>Ending Balance</u>
<b>1000600 · Imprest Fund - Key Bank</b>					
Total 1000600 · Imprest Fund - Key Bank	168,334.48	508,400.28	515,938.49	-7,538.21	160,796.27
<b>1000700 · Health Fund - Key Bank</b>					
Total 1000700 · Health Fund - Key Bank	869.26	10,000.12	8,724.06	1,276.06	2,145.32
<b>1001000 · Comptroller Fund - Key Bank</b>					
Total 1001000 · Comptroller Fund - Key Bank	9,917.87	525,507.34	526,410.71	-903.37	9,014.50
<b>1001001 · Gen. State Checking - Key Bank</b>					
Total 1001001 · Gen. State Checking - Key Bank	953,188.66	530,441.59	508,180.28	22,261.31	975,449.97
<b>1001500 · Key Money Market</b>					
Total 1001500 · Key Money Market	200,605.24	140.20	0.00	140.20	200,745.44
<b>TOTAL</b>	<u>1,332,915.51</u>	<u>1,574,489.53</u>	<u>1,559,253.54</u>	<u>15,235.99</u>	<u>1,348,151.50</u>

**Port of Oswego Authority**  
**Balance Sheet**  
As of November 30, 2023

	Nov 30, 23	Nov 30, 22	\$ Change
<b>ASSETS</b>			
<b>Current Assets</b>			
<b>Checking/Savings</b>			
1000100 · Petty Cash	123.10	96.80	26.30
1000300 · Oswego Marina - Register fund	600.00	600.00	0.00
1000600 · Imprest Fund - Key Bank	160,796.27	519,946.66	-359,150.39
1000700 · Health Fund - Key Bank	2,145.32	2,055.44	89.88
1001000 · Comptroller Fund - Key Bank	9,014.50	38,950.14	-29,935.64
1001001 · Gen. State Checking - Key Bank	975,449.97	1,273,285.07	-297,835.10
1001500 · Key Money Market	200,745.44	7,613.83	193,131.61
1003200 · CD - Wtrline Maint Fund	10,000.00	0.00	10,000.00
1003300 · CD - Bldg Rehab Fund	88,646.47	87,990.38	656.09
<b>Total Checking/Savings</b>	<b>1,447,521.07</b>	<b>1,930,538.32</b>	<b>-483,017.25</b>
<b>Accounts Receivable</b>			
1100000 · Accounts Receivable	489,610.34	577,575.09	-87,964.75
<b>Total Accounts Receivable</b>	<b>489,610.34</b>	<b>577,575.09</b>	<b>-87,964.75</b>
<b>Other Current Assets</b>			
1100103 · Accounts Receivable Other	995.04	995.04	0.00
1100104 · Short term Lease Receivable	146,278.17	0.00	146,278.17
1100900 · Other Receivable	0.00	760,621.00	-760,621.00
1201000 · Prepaid Insurance	132,783.23	64,923.46	67,859.77
1202000 · Prepaid expense	193.05	193.05	0.00
1210000 · Inventory Asset	16,763.12	17,936.61	-1,173.49
1300000 · Grant Receivable	740,118.43	2,729.07	737,389.36
1499000 · Undeposited Funds	35.00	410.00	-375.00
<b>Total Other Current Assets</b>	<b>1,037,166.04</b>	<b>847,808.23</b>	<b>189,357.81</b>
<b>Total Current Assets</b>	<b>2,974,297.45</b>	<b>3,355,921.64</b>	<b>-381,624.19</b>
<b>Fixed Assets</b>			
1502000 · Land & Land Impr-Capital Assets	14,074,827.75	14,074,827.75	0.00
1502050 · Land & Land Impr-Held for Lease	1,537,131.13	1,376,575.13	160,556.00
1502100 · Alcan Water Line	1.00	1.00	0.00
1502300 · Bldgs & Improvem-Capital Assets	8,516,661.43	8,482,916.43	33,745.00
1502350 · Bldgs & Improvem-Held for Lease	4,043,402.88	4,012,217.36	31,185.52
1502400 · Office Equipment & Furniture	473,841.90	469,143.90	4,698.00
1502500 · Operating Equipment	3,696,220.62	3,157,693.41	538,527.21
1502501 · Equipment - Marina	299,821.60	287,239.93	12,581.67
1502550 · Lease Assets	434,701.63	0.00	434,701.63
1502555 · Accumulated Amortization	-91,223.16	0.00	-91,223.16
1502600 · Computer Software	32,872.24	32,872.24	0.00
1502800 · Acc Dep-Bldg & Impr-Cap Assets	-6,722,169.54	-6,529,748.54	-192,421.00
1502850 · Acc Dep Bldg & Impr-Held for Le	-2,331,837.00	-2,221,428.00	-110,409.00
1502900 · Acc Dep - Operating Equip	-2,554,080.33	-2,385,670.33	-168,410.00
1502905 · Acc Dep - Marina equipment	-239,567.00	-227,418.00	-12,149.00
1503000 · Acc Dep - Office Equipment	-462,481.46	-454,703.46	-7,778.00
1503100 · Acc Dep-Land & Impr-Cap Assets	-8,048,916.11	-7,468,047.11	-580,869.00

**Port of Oswego Authority**  
**Balance Sheet**  
 As of November 30, 2023

	Nov 30, 23	Nov 30, 22	\$ Change
1503101 · Acc Dep - Computer Software	-32,872.00	-32,872.00	0.00
1503150 · Acc Dep Land & Impr-Held for Le	-96,532.00	-37,174.00	-59,358.00
1503200 · Acc Dep - Lease Asset	-158,555.00	0.00	-158,555.00
1503600 · Equipment - New or Replacement	59,757.49	11,975.00	47,782.49
1504900 · Cap Imp - Gas Dock Improvements	1,031.76	0.00	1,031.76
1505600 · Cap Imp - Agricultural Center	14,562,668.79	14,436,229.03	126,439.76
1505700 · Cap Imp - Marine Pumpout System	7,500.00	0.00	7,500.00
1505800 · Cap Imp - Railcar conveyor	11,546.14	0.00	11,546.14
1506400 · Cap Imp - Warehouse doors	17,105.44	0.00	17,105.44
1506600 · Cap Imp - RV Park	123,858.04	95,677.02	28,181.02
1507300 · Cap Imp - Scales	93,603.23	0.00	93,603.23
1507400 · Cap Imp-Marina elect. upgrade	20,691.02	0.00	20,691.02
1507800 · Cap Imp - FEMA-West 2017	384,444.69	358,397.56	26,047.13
1507802 · Cap Imp - FEMA-East 2017	1,688,536.56	523,067.37	1,165,469.19
1508600 · Cap Imp-REDI 19515-Goble Marina	1,406,150.15	542,080.44	864,069.71
1508900 · Cap Imp-Fitzgibbons Prop Imprv	0.00	160,556.00	-160,556.00
<b>Total Fixed Assets</b>	<b>30,748,141.89</b>	<b>28,664,408.13</b>	<b>2,083,733.76</b>
<b>Other Assets</b>			
1100105 · Long Term Lease Receivable	1,000,202.19	0.00	1,000,202.19
1100106 · Interest Receivable	2,283.36	0.00	2,283.36
1800000 · Pension - Deferred Outflow	-190,195.00	-76,109.00	-114,086.00
1800001 · Deferred Outflow - OPEB	385,391.00	519,043.00	-133,652.00
<b>Total Other Assets</b>	<b>1,197,681.55</b>	<b>442,934.00</b>	<b>754,747.55</b>
<b>TOTAL ASSETS</b>	<b>34,920,120.89</b>	<b>32,463,263.77</b>	<b>2,456,857.12</b>
<b>LIABILITIES &amp; EQUITY</b>			
<b>Liabilities</b>			
<b>Current Liabilities</b>			
<b>Accounts Payable</b>			
2000100 · Accounts Payable	119,775.37	672,808.59	-553,033.22
<b>Total Accounts Payable</b>	<b>119,775.37</b>	<b>672,808.59</b>	<b>-553,033.22</b>
<b>Credit Cards</b>			
2000101 · Key Bank - Bill Mastercard	1,610.52	4,888.17	-3,277.65
2000103 · Lowe's credit card	123.44	482.81	-359.37
2000104 · Tractor Supply credit card	0.00	3.49	-3.49
<b>Total Credit Cards</b>	<b>1,733.96</b>	<b>5,374.47</b>	<b>-3,640.51</b>
<b>Other Current Liabilities</b>			
2000200 · Retainage Payable	43,079.49	16,448.92	26,630.57
2000300 · Accounts Payable Other	754.96	244.80	510.16
2000400 · A/P-Deferred COVID19 ER SS	0.00	19,414.06	-19,414.06
2000610 · Deposits received	20,000.00	0.00	20,000.00
2001000 · Accrued Salaries	37,502.49	49,791.08	-12,288.59
2001200 · Accrued Compensation	58,468.03	53,350.23	5,117.80
2001600 · Accrued NYS Retirement Withheld	1,530.81	1,384.91	145.90
2001700 · NYS Retirement Loan Withheld	1,215.00	1,134.00	81.00
2001800 · NYS Retirement Arrears Withheld	0.00	245.49	-245.49

**Port of Oswego Authority**  
**Balance Sheet**  
As of November 30, 2023

	Nov 30, 23	Nov 30, 22	\$ Change
2002000 · Medical FSA Withheld	117.43	109.62	7.81
2002400 · Support Collection Withheld	283.66	717.00	-433.34
2002700 · Accrued NYS PFL withheld	2,266.11	1,963.06	303.05
2003000 · #1570A Pension Fund	48,718.31	97,747.69	-49,029.38
2003100 · 1570 1% Checkoff Withheld	692.47	1,369.81	-677.34
2003200 · 1570 1/10% Checkoff Withheld	69.25	137.00	-67.75
2003300 · 1570A 9/10% Checkoff Withheld	623.26	1,232.90	-609.64
2003401 · 1570A Local Dues Withheld	1,233.39	2,474.65	-1,241.26
2003600 · CSEA dues Withheld	262.86	202.03	60.83
2003800 · Deferred Comp Liability	561.51	536.80	24.71
2004000 · Accrued AFLAC - cancer withheld	0.00	55.08	-55.08
2004200 · Accrue AFLAC- accident withheld	0.00	21.00	-21.00
2004400 · Accrued AFLAC-Hosp Adv withheld	0.00	51.00	-51.00
2004500 · Accrued Mass Mutual withheld	-167.75	0.00	-167.75
2005600 · Payments on Insurance Claims	961.95	961.95	0.00
2005700 · Short Term Lease Liability	100,201.66	0.00	100,201.66
2550000 · Sales Tax Payable	-1,524.72	-16,503.36	14,978.64
<b>Total Other Current Liabilities</b>	<b>316,850.17</b>	<b>233,089.72</b>	<b>83,760.45</b>
<b>Total Current Liabilities</b>	<b>438,359.50</b>	<b>911,272.78</b>	<b>-472,913.28</b>
<b>Long Term Liabilities</b>			
2500400 · NYS Retirement Employer Contri	10,289.00	1,729.00	8,560.00
2500500 · Advances from NYS	3,455,925.71	3,505,925.71	-50,000.00
2500600 · Vehicle Note Payable	47,257.42	0.00	47,257.42
2501010 · Note Payable - PPP 2nd draw	0.00	374,895.00	-374,895.00
2501400 · OPEB liability	1,559,497.00	2,466,448.00	-906,951.00
2502100 · Note Payable - Liebherr Crane	0.00	293,187.71	-293,187.71
2502200 · Note Payable-SANY Forklift-LEAF	448,003.14	0.00	448,003.14
2503500 · Long Term Lease Liability	88,275.31	0.00	88,275.31
2600000 · Net Pension Liability - ERS	-187,532.00	2,143.00	-189,675.00
2800001 · Deferred Inflow - OPEB	1,084,415.00	248,736.00	835,679.00
2800002 · Deferred Inflow - Lessor	1,100,486.92	0.00	1,100,486.92
<b>Total Long Term Liabilities</b>	<b>7,606,617.50</b>	<b>6,893,064.42</b>	<b>713,553.08</b>
<b>Total Liabilities</b>	<b>8,044,977.00</b>	<b>7,804,337.20</b>	<b>240,639.80</b>
<b>Equity</b>			
3000500 · Contributed Capital	144,946.00	144,946.00	0.00
3001000 · Contributed Capital - Federal	45,777.00	45,777.00	0.00
3001500 · Grant from NYS	2,253,367.90	2,253,367.90	0.00
3001600 · Grant MultiCodul Capital Proj	2,073,783.33	2,073,783.33	0.00
3001700 · Grant-MultiModal	370,000.00	370,000.00	0.00
3001800 · Grant Energy Savings	60,000.00	60,000.00	0.00
3005000 · Retained Earnings	19,678,911.68	18,101,112.78	1,577,798.90
<b>Net Income</b>	<b>2,248,357.98</b>	<b>1,609,939.56</b>	<b>638,418.42</b>
<b>Total Equity</b>	<b>26,875,143.89</b>	<b>24,658,926.57</b>	<b>2,216,217.32</b>
<b>TOTAL LIABILITIES &amp; EQUITY</b>	<b>34,920,120.89</b>	<b>32,463,263.77</b>	<b>2,456,857.12</b>

Port of Oswego Authority  
Profit & Loss  
November 2023

	Period to Date				Year to Date				% Variance from Budget
	Actual	Prior	Budget	Actual	Prior	Budget	\$ Over Budget		
	Variance to Prior			Variance to Prior					
Ordinary Income/Expense									
Income									
4000000 - Storage	37,147.93	35,786.46	30,833.33	166,384.49	250,704.90	246,666.68	-80,272.19	-32.5%	
4100000 - Dockage	11,947.78	22,841.07	13,888.89	79,230.16	202,544.94	111,111.11	-31,880.95	-28.7%	
4200000 - Wharfage	40,316.51	34,814.13	28,000.00	173,985.95	217,649.04	224,000.00	-50,014.05	-22.3%	
4300000 - Loading and Unloading	52,438.96	80,973.67	66,666.67	335,413.52	1,141,152.27	533,333.33	-197,919.81	-37.1%	
4400000 - Rental	82,052.37	54,067.60	47,500.00	441,619.30	483,603.50	390,000.00	61,619.30	16.2%	
4500000 - Misc Income	69,623.57	40,507.99	20,833.33	251,284.30	1,074,168.38	166,666.67	84,617.63	50.8%	
4600000 - Stevedoring	328,649.94	133,152.42	83,333.33	1,022,485.72	1,598,257.98	666,666.67	355,819.05	53.4%	
4750000 - Profit Share	0.00	200,000.00	0.00	0.00	400,000.00	0.00	0.00	0.0%	
4800000 - Marina Income	4,414.99	5,385.84	23,250.00	686,915.25	853,952.99	848,750.00	-181,834.75	-21.4%	
4850000 - RV Park	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.0%	
Total Income	626,592.05	607,529.18	314,305.55	3,137,328.69	6,222,034.00	3,182,194.46	-5,000.00	-100.0%	
Cost of Goods Sold									
4900000 - Cost of Goods Sold	114.31	526.88	53,125.00	329,068.21	477,747.60	425,000.00	-95,931.79	-22.8%	
Total COGS	114.31	526.88	53,125.00	329,068.21	477,747.60	425,000.00	-95,931.79	-22.8%	
Gross Profit	626,477.74	607,002.30	261,180.55	2,808,260.48	5,744,286.40	2,757,194.46	51,066.02	1.9%	
Expense									
5000000 - Personal Service	189,824.72	213,869.99	182,155.63	1,078,186.52	1,684,273.71	1,187,374.26	-109,187.74	-9.2%	
605000a - Travel Expense	376.62	384.87	500.00	5,047.21	7,554.41	4,000.00	1,047.21	26.2%	
610000a - Auto Expense	52.98	1,248.00	583.34	3,386.83	6,824.45	4,686.67	-1,299.84	-27.9%	
611000a - Fuel expense	6,113.31	5,537.54	4,291.67	28,313.46	53,990.91	34,333.33	-6,019.87	-17.5%	
615000a - Office Supplies	7,568.20	1,442.43	3,333.33	45,690.36	38,607.84	26,686.67	19,023.69	71.3%	
6160200 - General Insurance Expense	28,688.28	23,605.90	23,333.33	221,189.62	185,128.47	186,666.67	34,522.95	18.5%	
620000a - Advertising & Printing	2,932.83	892.00	2,500.00	27,682.36	21,168.47	20,000.00	7,682.36	38.4%	
625000a - Communications	726.73	3,620.90	2,500.00	6,172.71	24,108.01	20,000.00	-13,827.29	-69.1%	
6260000 - FTZ expenses	0.00	0.00	0.00	645.00	0.00	0.00	645.00	100.0%	
630000a - Fuel, Light & Power	5,284.96	7,350.41	6,250.00	37,428.77	50,437.49	50,000.00	-12,571.23	-25.1%	
635000a - Household Supplies	2,564.60	3,321.41	1,750.00	18,499.29	20,990.76	14,000.00	4,499.29	32.1%	
640000a - Payroll Taxes	11,077.99	10,973.21	9,499.52	74,918.44	108,298.31	75,996.16	-1,077.72	-1.4%	
645000a - Health Insurances	24,878.32	18,080.17	20,416.67	181,161.36	161,101.89	163,333.33	17,828.03	10.9%	
6500000 - ILA Pension	48,718.31	58,953.75	17,500.00	253,782.58	558,520.13	140,000.00	113,782.58	81.3%	
6520000 - CSEA Workbooks/Workclothes	535.75	300.00	83.33	783.07	300.00	666.67	116.40	17.5%	
655000a - Special Supplies	10,671.66	-8,429.62	5,833.33	56,382.15	322,650.24	46,666.67	9,695.48	20.8%	
655130a - Spec Supp & Ex - Metered Water	0.00	0.00	583.33	1,971.23	3,986.05	4,666.67	-2,695.44	-57.8%	
6551500 - Spec Supp & Ex - Comm Support	0.00	0.00	943.75	12,725.00	10,725.00	7,550.00	5,175.00	68.5%	
6560000 - Professional Services	16,569.04	306,666.50	8,083.33	146,800.28	409,706.86	64,666.67	82,133.61	127.0%	

Port of Oswego Authority  
**Profit & Loss**  
 November 2023

10:44 AM  
 12/15/23  
 Accrual Basis

	Period to Date			Year to Date			% Variance from Budget	
	Actual	Prior	Budget	Actual	Prior	Budget		
6570000 · Marina Supp & Expenses	1,507.04	2,150.64	5,770.83	56,033.98	53,749.44	39,499.96	16,534.02	41.9%
6580000 · Education/Training	0.00	99.00	83.33	69.00	1,343.00	666.67	-597.67	-89.7%
6590000 · Technical Services	3,420.00	0.00	2,750.00	10,440.00	25,640.50	22,000.00	-11,560.00	-52.5%
660000a · Repairs & Maintenance	5,044.86	21,067.37	7,500.00	86,074.31	90,687.19	60,000.00	26,074.31	43.5%
6670000 · House Gasoline	77.01	30.84	0.00	1,296.21	2,939.39	0.00	1,296.21	100.0%
6680000 · Hammernill property lease	0.00	0.00	0.00	0.00	75,600.00	0.00	0.00	0.0%
6700000 · Rentals	6,965.00	5,637.90	833.33	31,169.31	54,188.93	6,666.67	24,501.64	367.5%
6700200 · Lease-Track Mobile	0.00	2,558.00	2,558.00	0.00	20,464.00	20,464.00	-20,464.00	-100.0%
6700300 · Lease - other equipment leases	1,196.00	9,760.00	16,398.00	5,833.00	78,080.00	131,104.00	-125,271.00	-95.6%
6700301 · Lease - vehicles	0.00	283.84	292.92	0.00	3,040.18	2,343.36	-2,343.36	-100.0%
6730000 · FEIMA 4460 - Covid19 Expenses	0.00	0.00	0.00	0.00	88.98	0.00	0.00	0.0%
6750000 · Write offs	0.00	0.00	166.67	1.36	0.40	1,333.33	-1,331.97	-99.9%
6800000 · Museum	1,099.93	771.75	500.00	6,732.76	4,434.49	4,000.00	2,732.76	68.3%
6850000 · Interest Expense	3,750.52	2,976.95	1,666.67	28,935.37	16,535.75	13,333.33	15,602.04	117.0%
6900000 · Freight Expense	2,242.78	273.66	416.67	16,439.43	2,526.50	3,333.33	13,106.10	393.2%
<b>Total Expense</b>	<b>381,887.44</b>	<b>693,437.41</b>	<b>329,066.98</b>	<b>2,443,749.97</b>	<b>4,097,691.75</b>	<b>2,355,998.42</b>	<b>87,751.55</b>	<b>3.7%</b>
<b>Net Ordinary Income</b>	<b>244,590.30</b>	<b>-86,435.11</b>	<b>-67,886.43</b>	<b>364,510.51</b>	<b>1,646,594.65</b>	<b>401,196.04</b>	<b>-36,685.53</b>	<b>-9.1%</b>
<b>Other Income/Expense</b>								
<b>Other Income</b>								
8999999 · Interest Income - Leases	2,283.50	0.00	0.00	19,016.72	0.00	0.00	19,016.72	100.0%
9000000 · Interest Income	4,609.15	3,156.68	833.33	32,218.47	8,035.72	6,666.68	25,551.79	383.3%
9000001 · Grant - Agricultural Center	0.00	145,225.25	0.00	109,324.57	222,258.44	423,027.65	-313,703.08	-74.2%
9000014 · NYS Grant Pin 3935.59 ET Pier	207,952.81	0.00	0.00	207,952.81	0.00	361,283.85	-153,331.04	-42.4%
9000017 · FEIMA DR 4348	0.00	0.00	1,067,430.24	932,710.06	-66,566.89	2,025,774.80	-1,083,064.74	-54.0%
9000020 · Auction / Sale of equipment	0.00	0.00	0.00	265,000.00	0.00	0.00	265,000.00	100.0%
9001400 · REDI - Goble Marina	0.00	0.00	0.00	426,609.37	-27,990.80	1,148,966.35	-722,356.98	-62.9%
<b>Total Other Income</b>	<b>214,845.46</b>	<b>148,381.93</b>	<b>1,068,263.57</b>	<b>1,992,832.00</b>	<b>135,734.47</b>	<b>3,965,719.33</b>	<b>-1,972,887.33</b>	<b>-49.7%</b>
<b>Other Expense</b>								
9000400 · Windmill Proj Rd Improvements	0.00	0.00	0.00	0.00	172,389.56	0.00	0.00	0.0%
9005500 · Amortization Expense	13,179.03	0.00	0.00	108,984.53	0.00	0.00	108,984.53	100.0%
<b>Total Other Expense</b>	<b>13,179.03</b>	<b>0.00</b>	<b>0.00</b>	<b>108,984.53</b>	<b>172,389.56</b>	<b>0.00</b>	<b>108,984.53</b>	<b>100.0%</b>
<b>Net Other Income</b>	<b>201,666.43</b>	<b>148,381.93</b>	<b>1,068,263.57</b>	<b>1,883,847.47</b>	<b>-36,655.09</b>	<b>3,965,719.33</b>	<b>-2,081,871.86</b>	<b>-52.5%</b>
<b>Net Income</b>	<b>446,256.73</b>	<b>61,946.82</b>	<b>1,000,377.14</b>	<b>2,248,357.98</b>	<b>1,609,939.56</b>	<b>4,366,915.37</b>	<b>-2,118,557.39</b>	<b>-48.5%</b>



Port of Oswego Authority  
**Marina Profit & Loss**  
April through November 2023

	<u>Apr - Nov 23</u>	<u>Apr - Nov 22</u>	<u>\$ Change</u>
<b>Ordinary Income/Expense</b>			
<b>Income</b>			
4400000 · Rental	800.00	700.00	100.00
4500000 · Misc Income	0.00	133.40	-133.40
4800000 · Marina Income			
4800100 · Marina Inc - Slip Rental	85,850.00	88,125.00	-2,275.00
4800101 · Marina Inc-Transient mooring	64,080.50	69,749.00	-5,668.50
4800200 · Marina Inc - Misc	655.00	500.00	155.00
4800300 · Marina Inc - Storage	56,675.00	64,464.00	-7,789.00
4800301 · Marina Inc-MastUnstepStoreStep	2,275.00	1,793.00	482.00
4800400 · Marina Inc - Gas Sales	401,617.99	561,814.07	-160,196.08
4800500 · Marina Inc-Gin Pole	17,537.00	21,511.00	-3,974.00
4800501 · Marina Inc-Hoist	3,972.00	2,940.00	1,032.00
4800600 · Marina-FishClean/OYC/Barn Rent	1,200.00	1,200.00	0.00
4800800 · Marina Inc - Towing services	5,603.10	9,409.00	-3,805.90
4800900 · Marina Inc - Service/Labor	7,975.24	8,957.41	-982.17
4801000 · Marina Inc - Winterization	16,037.00	20,228.00	-4,191.00
4801100 · Marina Inc - Tackle	17.30	178.48	-161.18
4801200 · Marina Inc - Boat Supply	1,461.08	1,421.53	39.55
4801400 · Marina Inc - Beverages	144.75	149.50	-4.75
4801500 · Marina Inc - Snacks	285.00	268.00	17.00
4801700 · Marina Inc - Ice	1,308.00	1,245.00	63.00
<b>Total 4800000 · Marina Income</b>	<u>666,693.96</u>	<u>853,952.99</u>	<u>-187,259.03</u>
<b>Total Income</b>	<u>667,493.96</u>	<u>854,786.39</u>	<u>-187,292.43</u>
<b>Cost of Goods Sold</b>	<u>328,887.86</u>	<u>477,747.60</u>	<u>-148,859.74</u>
<b>Gross Profit</b>	<u>338,606.10</u>	<u>377,038.79</u>	<u>-38,432.69</u>
<b>Expense</b>			
5000000 · Personal Service	102,926.69	90,646.31	12,280.38
615000a · Office Supplies	2,430.66	1,279.96	1,150.70
625000a · Communications	7.21	1,376.66	-1,369.45
635000a · Household Supplies	499.31	703.62	-204.31
640000a · Payroll Taxes	9,017.37	6,117.50	2,899.87
645000a · Health Insurances	2,460.78	1,268.90	1,191.88
655000a · Special Supplies	2,476.06	1,898.09	577.97
6570000 · Marina Supp & Expenses			
6571000 · MarinaSupp & Ex-Misc	2,562.18	1,960.64	601.54
6571200 · MarinaSupp & Ex-Maintenance	164.92	1,322.52	-1,157.60
6571201 · MarinaSupp & Ex-Equip repairs	7,984.34	5,740.34	2,244.00
6571300 · MarinaSupp & Ex-Utilities	9,494.20	7,879.43	1,614.77
6571400 · MarinaSupp & Ex-Credit Card Exp	31,541.54	31,146.33	395.21
6571600 · MarinaSupp & Ex-Winteriz costs	3,548.89	4,490.92	-942.03
6571700 · MarinaSupp & Ex-Cable	809.84	1,247.83	-437.99
6571800 · Marina Supp & Ex-reg over/short	0.07	-38.57	38.64
<b>Total 6570000 · Marina Supp &amp; Expenses</b>	<u>56,105.98</u>	<u>53,749.44</u>	<u>2,356.54</u>
6580000 · Education/Training	69.00	-15.00	84.00
660000a · Repairs & Maintenance	8,294.53	1,587.40	6,707.13
6670000 · House Gasoline	907.12	1,038.59	-131.47
6700000 · Rentals	-3,246.04	0.00	-3,246.04
6700300 · Lease - other equipment leases	4,560.00	4,560.00	0.00
6750000 · Write offs	0.00	0.40	-0.40
6900000 · Freight Expense	181.92	6.99	174.93
<b>Total Expense</b>	<u>186,690.59</u>	<u>164,218.86</u>	<u>22,471.73</u>
<b>Net Ordinary Income</b>	<u>151,915.51</u>	<u>212,819.93</u>	<u>-60,904.42</u>
<b>Other Income/Expense</b>	<u>0.00</u>	<u>0.42</u>	<u>-0.42</u>
<b>Net Income</b>	<u>151,915.51</u>	<u>212,820.35</u>	<u>-60,904.84</u>

# Exhibit C-2

**Port of Oswego Authority  
Imprest Fund**

November 1 - 7, 2023

W-88

<b>James D. Miner</b>		<b>\$46.77</b>
	CSEA Workboots/Workclothes Reimbursement for 2023 - Pants	
<b>James D. Miner</b>		<b>\$300.00</b>
	CSEA Workboots/Workclothes Reimbursement for 2023 - Boots	
<b>Benefit Resource, Inc.</b>		<b>\$100.00</b>
	Monthly Administration Fee	
<b>Bond, Schoeneck &amp; King, PLLC</b>		<b>\$4,784.83</b>
	Legal Services - ILA Negotiations & General Matters	
<b>Bousquet Holstein PLLC</b>		<b>\$12,600.00</b>
	Legal Services - Lease Negotiation with Maritime Museum, Hammermill Assignment of Rent, SEQR Review of Grain Handling, & General Counsel	
<b>Burke's Do-it-Best Home Center</b>		<b>\$186.71</b>
	Wax Bowl Gasket, Quickset Concrete Mix for RV Park, Plumber Putty, Paint, Vent Elbows, Saddle Tee, PVC Pipe	
<b>Butler Disposal Systems Inc</b>		<b>\$556.50</b>
	Trash & Recycle Service	
<b>C&amp;S Engineers, Inc.</b>		<b>\$7,544.44</b>
	Professional Services - Grain Handling - Construction Admin.	
<b>Cintas</b>		<b>\$195.51</b>
	Work Uniforms & Floor Mats	
<b>CIT Group Inc</b>		<b>\$2,558.00</b>
	Trackmobile Lease	
<b>Cooper Electric</b>		<b>\$502.29</b>
	Balast Lamp, PVC Conduit, HEX Impact Driver	
<b>Ed &amp; Ed Business Technology, Inc.</b>		<b>\$114.60</b>
	Contract Charge for Copiers	
<b>LEAF</b>		<b>\$8,258.53</b>
	Heavy Forklift Lease Payment	
<b>MassMutal</b>		<b>\$335.50</b>
	Monthly Premium	
<b>Mohawk Global Logistics Corp</b>		<b>\$500.00</b>
	FTZ Consulting	
<b>NaGr #-09104 Lighting-1 Gate, 1 NE Corner</b>		<b>\$108.72</b>
	Electric Delivery & Supply (1 Account)	
<b>Paychex</b>		<b>\$1,063.65</b>
	Payroll Fees & Administration	
<b>Rental Warehouse, Inc.</b>		<b>\$3,246.04</b>
	Mini-Excavator Rental for Marina Electrical Project	

**Port of Oswego Authority  
Imprest Fund**

November 1 - 7, 2023

W-88

<b>S&amp;B Computer and Office Products, Inc.</b>	<b>\$437.25</b>
Marina Water, USGS Water, Water Gallon Credits, Office Supplies, Household Cleaning Supplies	
<b>Shark Welding &amp; Repair Service</b>	<b>\$5,200.00</b>
RV Park Curb Cut and Apron Pour due to City of Oswego DPW	
<b>Sprague Operating Resources LLC</b>	<b>\$3.68</b>
Electric Supply - 4 Accounts	
<b>Thompson &amp; Johnson Equipment Co., Inc.</b>	<b>\$1,196.00</b>
Two Forklift Leases	
	<hr/>
	<b>\$49,839.02</b>

**Port of Oswego Authority  
Imprest Fund**

November 9, 2023  
W-89

Name	Paid Amt.
WD Malone Trucking & Excavating, Inc. Pay App #4 - East Terminal	\$36,569.00
	<hr/> \$36,569.00

**Port of Oswego Authority  
Imprest Funds**

November 14, 2023  
W-90

<b>A.N. Martin Systems LLC</b>		<b>\$700.00</b>
	Labor/Service Call for Silo	
<b>AmVet Office Supplies, LLC</b>		<b>\$127.11</b>
	Batteries & Printer Ink	
<b>Babcock Highway Supply, Inc.</b>		<b>\$343.20</b>
	Safety Cones	
<b>Bousquet Holstein PLLC</b>		<b>\$12,852.00</b>
	Legal Services - Hammermill Assignment of Rent, General Counsel, License/Lease Negotiation w/ Maritime Museum, SEQR Review of Grain Handling Project	
<b>Butler Disposal Systems Inc</b>		<b>\$231.73</b>
	Trash & Recycle Service	
<b>C&amp;S Engineers, Inc.</b>		<b>\$9,411.62</b>
	2023 PFRAP Grant Applications & Multi-Sector Permit & SWPPP	
<b>Cintas</b>		<b>\$87.42</b>
	Work Uniforms & Floor Mats	
<b>City of Oswego Water - #006583-000</b>		<b>\$101.73</b>
	Lake Road Water Line Bill	
<b>City of Oswego Water - 000004-000</b>		<b>\$961.63</b>
	Port Water Bill	
<b>Computer Outlet North, Inc.</b>		<b>\$178.50</b>
	Monthly Emails & Cloud Back-up	
<b>Cooper Electric</b>		<b>\$199.46</b>
	B-Line 13/16IN D Galv 14GA Half Slot, 10 pieces - Marina Electrical	
<b>East Coast Sealcoat Inc.</b>		<b>\$850.00</b>
	Sidewalk/Asphalt Repair due to City of Oswego DPW change	
<b>Glider Oil</b>		<b>\$874.72</b>
	Port Propane	
<b>Mikel's Auto Repair &amp; Sales Inc.</b>		<b>\$31.00</b>
	Two NYS Inspections (2022 Equinox & 2008 Jeep Commander)	
<b>National Grid</b>		<b>\$4,786.54</b>
	Electric Supply & Delivery (15 Accounts)	
<b>NYS Insurance Fund - WC</b>		<b>\$3,581.71</b>
	Monthly Worker's Compensation Premium	
<b>Oswego Hospital (Oswego Health Inc)</b>		<b>\$340.00</b>
	Respiratory Assessment for ILA Employee (fitting of respirators)	
<b>S&amp;B Computer and Office Products, Inc.</b>		<b>\$332.35</b>
	Water Jug Deposit Credit, De-Icer, Paper, Port Water, N95 Masks	
<b>Shark Welding &amp; Repair Service</b>		<b>\$20,700.00</b>
	Marina Electrical Project & Marina Sewer Project	

**Port of Oswego Authority  
Imprest Funds**

November 14, 2023

W-90

<b>Sprague Operating Resources LLC</b>		<b>\$62.73</b>
	Electric Supply - 4 Accounts, Credit	
<b>Steel Sales Inc.</b>		<b>\$1,525.52</b>
	Steel for Marina Electrical Project	
<b>Taylor Northeast, Inc.</b>		<b>\$215.13</b>
	Paint for Forklifts	
<b>Tractor Supply Credit Plan</b>		<b>\$32.99</b>
	Monthly Credit Card Charges	
<b>WellNow Urgent Care PC</b>		<b>\$254.52</b>
	Health Insurance Claim for ILA Member	
<b>WEX Inc.</b>		<b>\$261.99</b>
	Fuel for Port Vehicles	
		<b><u>\$59,043.60</u></b>

**Port of Oswego Authority  
Imprest Funds**

November 15 - 21, 2023

W-94

<b>William Scriber</b>	Reimbursement for Health Expenses Incurred	<b>\$385.61</b>
<b>Steve Terzulli</b>	Work Clothes & Work Boots Reimbursement for 2023	<b>\$188.98</b>
<b>American Great Lakes Ports Association</b>	Membership Dues 4th Quarter 2023	<b>\$4,412.75</b>
<b>CSEA Employee Benefit Fund</b>	Dental & Vision Insurance	<b>\$1,504.46</b>
<b>Glider Oil</b>	Port Diesel, Port Propane	<b>\$1,087.60</b>
<b>GM Financial Leasing</b>	Equinox Lease	<b>\$292.92</b>
<b>Haun Welding Supply Inc.</b>	Cylinder Rental - October	<b>\$394.70</b>
<b>LexisNexis</b>	Legal Information	<b>\$200.00</b>
<b>Lockwood Septic Service CDS, Inc.</b>	Septic Pump-out on the Kaho	<b>\$160.00</b>
<b>Lowe's</b>	Monthly Credit Card Charges - flanges, tape, light bulbs, office supplies	<b>\$291.65</b>
<b>Pathfinder Bank - 2024 Chevy P/U</b>	Vehicle Loan	<b>\$833.15</b>
<b>Paychex</b>	Payroll Fees & Administration	<b>\$1,352.19</b>
<b>Paychex</b>	Payroll Fees & Administration	<b>\$942.15</b>
<b>S&amp;B Computer and Office Products, Inc.</b>	Water Cooler Rentals, Office Supplies	<b>\$86.11</b>
<b>SUNY Oswego</b>	Payroll for Lab Students	<b>\$3,420.00</b>
<b>Taylor Northeast, Inc.</b>	Fork Lift Rentals (7) & Equipment Repairs	<b>\$4,601.78</b>
<b>Wells Fargo Financial Leasing</b>	Doosan Lease	<b>\$4,400.00</b>
		<hr/> <b>\$24,554.05</b>



**Port of Oswego Authority  
Imprest Funds**

November 27 - 28, 2023

W-95

<b>Business Council of NYS, Inc.</b>	Life, AD&D, & LTD Insurance	<b>\$371.93</b>
<b>C&amp;S Engineers, Inc.</b>	Professional Services - Grain Handling - Construction Admin.	<b>\$4,825.00</b>
<b>Chirello Advertising</b>	Press Releases, Advertisement in Oswego County Today	<b>\$2,383.83</b>
<b>Cintas</b>	Work Uniforms & Floor Mats	<b>\$370.35</b>
<b>Cooper Electric</b>	Beam Clamp	<b>\$4.30</b>
<b>Glider Oil</b>	Port Propane	<b>\$1,140.59</b>
<b>LEAF</b>	Copier Lease	<b>\$156.99</b>
<b>Oswego Auto Parts</b>	Thermostat for Marina, Hose End Fittings, Work Light	<b>\$358.42</b>
<b>Raby's Ace Homecenter</b>	Pedestal Mounting for New Electric at Marina	<b>\$57.13</b>
<b>Rental Warehouse, Inc.</b>	Trash Pump Rental for Scale Pit	<b>\$60.50</b>
<b>S&amp;B Computer and Office Products, Inc.</b>	Water Jug Credits, Water Cooler Rental, USGS Water, Disposable Face Masks	<b>\$33.73</b>
<b>Simoneau Excavation and Hauling</b>	Used 11' One-Way Snow Plow	<b>\$1,000.00</b>
<b>Spectrum Business (Marina)</b>	Marina Internet	<b>\$119.98</b>
<b>Spectrum Business (Port)</b>	Port Internet & Phone	<b>\$149.97</b>
<b>Speedway Press</b>	Port Authority Letterhead (business paper)	<b>\$209.00</b>
<b>Taylor Northeast, Inc.</b>	Four (4) Forklift Rentals	<b>\$8,165.00</b>
<b>Wells Technology, Inc</b>	Shop Supplies	<b>\$227.08</b>
<b>Young/Sommer, LLC</b>	Counsel for Dome 4 Development Project	<b>\$1,440.00</b>
		<b><u>\$21,073.80</u></b>

**Port of Oswego Authority**  
**A/P Aging Summary**  
As of November 30, 2023

	Current	1 - 30	31 - 60	61 - 90	91 - 120	> 120	TOTAL
Aflac	1,628.64	0.00	0.00	0.00	0.00	0.00	1,628.64
Avaya Financial Services	2,145.50	0.00	0.00	0.00	0.00	0.00	2,145.50
Babcock Highway Supply, Inc.	438.20	0.00	0.00	0.00	0.00	0.00	438.20
Benefit Resource, Inc.	100.00	0.00	0.00	0.00	0.00	0.00	100.00
Burke's Do-it-Best Home Center	374.76	0.00	0.00	0.00	0.00	0.00	374.76
Butler Disposal Systems Inc	231.73	0.00	0.00	0.00	0.00	0.00	231.73
C&S Engineers, Inc.	8,602.04	0.00	0.00	0.00	0.00	0.00	8,602.04
Cintas	195.51	0.00	0.00	0.00	0.00	0.00	195.51
CIT Group Inc	2,558.00	0.00	0.00	0.00	0.00	0.00	2,558.00
City of Oswego Water - #005071-000	180.00	0.00	0.00	0.00	0.00	0.00	180.00
City of Oswego Water - #005430-000	216.13	0.00	0.00	0.00	0.00	0.00	216.13
City of Oswego Water - #005825-000	180.00	0.00	0.00	0.00	0.00	0.00	180.00
Computer Outlet North, Inc.	0.00	524.00	0.00	0.00	0.00	0.00	524.00
CSX Transportation	0.00	4,125.00	0.00	0.00	0.00	0.00	4,125.00
FitzGibbons Agency LLC	61,395.00	0.00	0.00	0.00	0.00	0.00	61,395.00
Glider Oil	2,919.31	0.00	0.00	0.00	0.00	0.00	2,919.31
Key Bank - B	4,331.32	0.00	0.00	0.00	0.00	0.00	4,331.32
LEAF	8,258.53	0.00	0.00	0.00	0.00	0.00	8,258.53
LexisNexis	400.00	0.00	0.00	0.00	0.00	0.00	400.00
Lindsey Aggregates, Inc.	1,029.50	0.00	0.00	0.00	0.00	0.00	1,029.50
MassMutual	335.50	0.00	0.00	0.00	0.00	0.00	335.50
Mohawk Global Logistics Corp	312.50	0.00	0.00	0.00	0.00	0.00	312.50
NaGr #-04008 Security Gate, Entrance Elec	195.11	0.00	0.00	0.00	0.00	0.00	195.11
NaGr #-05002 Gas & Elec New Garage	407.11	0.00	0.00	0.00	0.00	0.00	407.11
NaGr #-09104 Lighting-1 Gate, 1 NE Corner	108.41	0.00	0.00	0.00	0.00	0.00	108.41
NaGr #-10106 Electric - Barrel Bldg.	20.40	0.00	0.00	0.00	0.00	0.00	20.40
NaGr #-32051 Storage (Silo & Barrel Bldg)	2,726.36	0.00	0.00	0.00	0.00	0.00	2,726.36
NaGr #-38107 Gas Museum	146.86	0.00	0.00	0.00	0.00	0.00	146.86
NaGr #-38118 Marina - Unit B	445.35	0.00	0.00	0.00	0.00	0.00	445.35
NaGr #-39107 F&W	1,694.69	0.00	0.00	0.00	0.00	0.00	1,694.69
NaGr #-40109 Electric Derrick	23.29	0.00	0.00	0.00	0.00	0.00	23.29
NaGr #-40127 11 Lake St Gas & Elec.	47.08	0.00	0.00	0.00	0.00	0.00	47.08
NaGr #-41109 Electric Museum	487.14	0.00	0.00	0.00	0.00	0.00	487.14
NaGr #-47025 Marina - Pier B	33.77	0.00	0.00	0.00	0.00	0.00	33.77
NaGr #-74022 Vinegar Hill	20.40	0.00	0.00	0.00	0.00	0.00	20.40
NaGr #-83002 - 22 Mercer - Security Pole	26.83	0.00	0.00	0.00	0.00	0.00	26.83
NaGr #-91027 Marina - Pier A	85.46	0.00	0.00	0.00	0.00	0.00	85.46
National Assoc. of Foreign-Trade Zones	700.00	0.00	0.00	0.00	0.00	0.00	700.00
NYS Dept. of Agriculture & Markets	15.00	0.00	0.00	0.00	0.00	0.00	15.00
Oswego Auto Parts	252.45	0.00	0.00	0.00	0.00	0.00	252.45
Oswego Co. Bus. Mag., Inc.	0.00	549.00	0.00	0.00	0.00	0.00	549.00
Pitney Bowes Global Financial Serv LLC	201.18	0.00	0.00	0.00	0.00	0.00	201.18
S&B Computer and Office Products, Inc.	796.92	0.00	0.00	0.00	0.00	0.00	796.92
Taylor Northeast, Inc.	3,911.41	0.00	0.00	0.00	0.00	0.00	3,911.41
Thompson & Johnson Equipment Co., Inc.	1,196.00	0.00	0.00	0.00	0.00	0.00	1,196.00
Tractor Supply Credit Plan	126.97	0.00	0.00	0.00	0.00	0.00	126.97
Wells Fargo Financial Leasing	4,400.00	0.00	0.00	0.00	0.00	0.00	4,400.00
Wells Technology, Inc	272.36	0.00	0.00	0.00	0.00	0.00	272.36
WEX Inc.	404.65	0.00	0.00	0.00	0.00	0.00	404.65
<b>TOTAL</b>	<b>114,577.37</b>	<b>5,198.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>119,775.37</b>

**Port of Oswego Authority**  
**A/R Aging Summary**  
As of November 30, 2023

	Current	1 - 30	31 - 60	61 - 90	91 - 120	> 120	TOTAL
*Transient	0.00	0.00	0.00	648.00	0.00	978.62	1,626.62 <sup>1</sup>
Bidco Marine Group, LLC	1,630.00	1,560.00	0.00	0.00	0.00	0.00	3,190.00
Boat U.S.	0.00	0.00	0.00	0.00	0.00	2,106.00 <sup>2</sup>	2,106.00
Dean Marine & Excavating, Inc	11,752.51	11,550.00	0.00	0.00	0.00	0.00	23,302.51
DeLong, Frederick	0.00	-375.00	0.00	0.00	0.00	0.00	-375.00
DeVilliers, Anton	0.00	312.09	0.00	0.00	0.00	0.00	312.09
Fracht FWO Inc.	0.00	0.00	0.00	150.00 <sup>3</sup>	0.00	0.00	150.00
General Services Admin.	8,853.80	0.00	0.00	0.00	0.00	0.00	8,853.80
Glencore LTD.	67,832.41	0.00	13,446.52	0.00	0.00	0.00	81,278.93
Goldman Sachs & Co	34,170.15	3,381.48	0.00	0.00	0.00	0.00	37,551.63
Heidelberg Materials (Lehigh)	14,643.58	0.00	4,255.32	0.00	0.00	0.00	18,898.90
IXM Trading LLC/Louis Dreyfus Co.	91,855.61	0.00	0.00	0.00	0.00	0.00	91,855.61
J & A Mechanical Contractors, Inc.	0.00	1,531.68	0.00	0.00	0.00	0.00	1,531.68
Kerr, James	0.00	0.00	0.00	0.00	0.00	1,794.78 <sup>4</sup>	1,794.78
Lockwood, Jeremy	0.00	135.00	0.00	0.00	0.00	0.00	135.00
Manning, Greg	0.00	0.00	0.00	312.00 <sup>5</sup>	0.00	0.00	312.00
Marubeni America Corp.	56,443.99	0.00	0.00	0.00	0.00	0.00	56,443.99
McKeil Marine	8,361.77	3,953.68	0.00	3,920.00 <sup>6</sup>	0.00	0.00	16,235.45
Mercuria Energy America, LLC	113,937.85	0.00	0.00	0.00	0.00	20.86 <sup>7</sup>	113,958.71
Novelis-Oswego	0.00	2,164.83	0.00	0.00	0.00	0.00	2,164.83
Novelis-special	5,295.00	0.00	0.00	0.00	0.00	0.00	5,295.00
Nutrien Ag Solutions - CPS	10,162.50	0.00	0.00	0.00	0.00	0.00	10,162.50
Oswego Expeditions/Destination Expe...	16.00	0.00	0.00	0.00	0.00	0.00	16.00
Oswego Yacht Club	0.00	100.00	100.00	0.00	0.00	0.00	200.00
Rio Tinto Alcan, Inc	146.61	146.61	146.61	146.61	146.61	733.05	1,466.10 <sup>8</sup>
Shark-Attach, LLC	0.00	425.00	425.00	0.00	0.00	0.00	850.00
Spears, Thane	0.00	1,124.00	0.00	0.00	0.00	0.00	1,124.00
The Andersons Inc	1,427.00	0.00	0.00	0.00	0.00	0.00	1,427.00
WT Terminal Oswego, LLC	6,000.00	1,742.21	0.00	0.00	0.00	0.00	7,742.21
<b>TOTAL</b>	<b>432,528.78</b>	<b>27,751.58</b>	<b>18,373.45</b>	<b>5,176.61</b>	<b>146.61</b>	<b>5,633.31</b>	<b>489,610.34</b>

1. Called and left message. Will continue to reach out by phone and send letter.

2. Waiting for call back from Geico regarding payment

3. Pam has requested payment status

4. Making payments

5. Called and mailbox full. following up with letter.

6. Pam has requested payment status

7. Spoke with customer they are verifying payment is being made.

8. Rio Tinto is sending payment 12/18/23

**Port of Oswego Authority**  
**Loan Summary**  
as of November 30, 2023

<u>Name</u>	<u>Loan Balance</u>	<u>Available</u>	<u>Rate</u>
NYS first advances	\$ 3,455,925.71	\$ -	0.00%
Pathfinder Bank - LOC	\$ -	\$ 500,000.00	7.50%
Pathfinder Bank - LOC FEMA/REDI	\$ -	\$ 1,400,000.00	7.50%
Note Payable - SANY Forklift	\$ 448,003.14	\$ -	7.75%
Note Payable - 2024 Chevy Silverado	\$ 47,257.42	\$ -	6.88%

**Port of Oswego Authority**  
**Schedule of Assets**  
 As of November 30, 2023

	<u>Cost</u>	<u>Accum. Depr.</u>	<u>Net Book Value</u>
<b>Fixed Assets</b>			
1502000 · Land & Land Impr-Capital Assets	14,074,827.75	-8,048,916.11	6,025,911.64
1502050 · Land & Land Impr-Held for Lease	1,537,131.13	-96,532.00	1,440,599.13
1502100 · Alcan Water Line	1.00	0.00	1.00
1502300 · Bldgs & Improvem-Capital Assets	8,516,661.43	-6,722,169.54	1,794,491.89
1502350 · Bldgs & Improvem-Held for Lease	4,043,402.88	-2,331,837.00	1,711,565.88
1502400 · Office Equipment & Furniture	473,841.90	-462,481.46	11,360.44
1502500 · Operating Equipment	3,696,220.62	-2,554,080.33	1,142,140.29
1502501 · Equipment - Marina	299,821.60	-239,567.00	60,254.60
1502550 · Lease Assets	434,701.63	-158,555.00	276,146.63
1502600 · Computer Software	32,872.24	-32,872.24	0.00
<b>Total Fixed Assets</b>	<u>33,109,482.18</u>	<u>-20,647,010.68</u>	<u>12,462,471.50</u>

Port of Oswego Authority  
**YTD Sales Report**  
April through November 2023

	<u>Apr - Nov 23</u>	<u>%</u>	<u>Apr - Nov 22</u>	<u>%</u>	<u>\$ Change</u>
<b>Income</b>					
<b>4000000 · Storage</b>					
4000100 · Storage - Novells	5,000.00	0.16%	0.00	0.00%	5,000.00
4002800 · Storage - Marubeni	18,951.11	0.60%	25,269.03	0.41%	-6,317.92
4002900 · Storage - Glencore	24,576.63	0.78%	0.00	0.00%	24,576.63
4003000 · Storage - Goldman Sachs	8,720.56	0.28%	11,653.13	0.19%	-2,932.57
4003400 · Storage - Mercuria	10.43	0.00%	28,162.24	0.45%	-28,151.81
4003500 · Storage - Mitsubishi	155.89	0.00%	4,364.90	0.07%	-4,209.01
4003600 · Storage - The Andersons	65,920.00	2.10%	73,230.79	1.18%	-7,310.79
4003700 · Storage - Hammermill Site	0.00	0.00%	67,200.00	1.08%	-67,200.00
4003800 · Storage - Alcoa	0.00	0.00%	5,215.55	0.08%	-5,215.55
4003900 · Storage - Kuehne & Nagel	290.05	0.01%	7,016.82	0.11%	-6,726.77
4005000 · Storage - Miscellaneous	24,172.88	0.77%	3,950.00	0.06%	20,222.88
4008100 · Storage - IXM	18,596.94	0.59%	24,638.39	0.40%	-6,041.45
4009000 · Storage - Concord Resources Ltd	0.00	0.00%	4.05	0.00%	-4.05
<b>Total 4000000 · Storage</b>	<b>166,394.49</b>	<b>5.30%</b>	<b>250,704.90</b>	<b>4.03%</b>	<b>-84,310.41</b>
<b>4100000 · Dockage</b>					
4100100 · Dockage - Algoma Central	7,543.38	0.24%	3,771.69	0.06%	3,771.69
4100200 · Dockage - Lehigh (Heidelberg)	17,912.96	0.57%	20,165.12	0.32%	-2,252.16
4102200 · Dockage - New England Steamship	20,210.68	0.64%	120,828.15	1.94%	-100,417.47
4102700 · Dockage - McKeil Marine	26,907.74	0.86%	25,407.74	0.41%	1,500.00
4102900 · Dockage - WT Terminal	2,930.40	0.09%	3,014.88	0.05%	-84.48
4103000 · Dockage - Alcoa	0.00	0.00%	7,057.36	0.11%	-7,057.36
4105000 · Dockage - Miscellaneous	3,725.00	0.12%	22,500.00	0.36%	-18,775.00
<b>Total 4100000 · Dockage</b>	<b>79,230.16</b>	<b>2.53%</b>	<b>202,544.94</b>	<b>3.26%</b>	<b>-123,314.78</b>
<b>4200000 · Wharfage</b>					
4200100 · Wharfage - Nutrien Ag	13,136.76	0.42%	14,831.45	0.24%	-1,694.69
4200200 · Wharfage - Lehigh (Heidelberg)	44,507.68	1.42%	42,828.97	0.69%	1,678.71
4201000 · Wharfage - Kuehne & Nagel	0.00	0.00%	9,987.94	0.16%	-9,987.94
4202500 · Wharfage - Marubeni	27,856.94	0.89%	27,620.81	0.44%	236.13
4202700 · Wharfage - Glencore	26,746.20	0.85%	1,619.15	0.03%	25,127.05
4203100 · Wharfage - Goldman Sachs	16,327.57	0.52%	2,698.94	0.04%	13,628.63
4203300 · Wharfage - IXM	31,374.60	1.00%	8,502.61	0.14%	22,871.99
4203500 · Wharfage - Mercuria	9,724.64	0.31%	41,901.72	0.67%	-32,177.08
4203600 · Wharfage - WT Terminal Oswego	4,311.56	0.14%	4,838.97	0.08%	-527.41
4203700 · Wharfage - Alcoa	0.00	0.00%	12,417.98	0.20%	-12,417.98
4203800 · Wharfage - GE	0.00	0.00%	15,370.37	0.25%	-15,370.37
4205600 · Wharfage - Andersons	0.00	0.00%	22,615.22	0.36%	-22,615.22
4205700 · Wharfage - Mitsubishi	0.00	0.00%	12,414.91	0.20%	-12,414.91
<b>Total 4200000 · Wharfage</b>	<b>173,985.95</b>	<b>5.55%</b>	<b>217,649.04</b>	<b>3.50%</b>	<b>-43,663.09</b>
<b>4300000 · Loading and Unloading</b>					
4300200 · Loading and Un - Nutrien Ag	46,572.19	1.48%	21,440.26	0.34%	25,131.93
4304300 · Loading and Un - Vestas	0.00	0.00%	380,790.42	6.12%	-380,790.42
4304900 · Loading and Un - Glencore	37,252.90	1.19%	0.00	0.00%	37,252.90
4305000 · Loading and Un - Miscellaneous	1,560.00	0.05%	0.00	0.00%	1,560.00
4305100 · Loading and Un - Marubeni	68,618.52	2.19%	68,714.13	1.10%	-95.61
4305400 · Loading and Un - Goldman Sachs	45,857.98	1.46%	8,029.73	0.13%	37,828.25
4305700 · Loading and Un - IXM	27,401.15	0.87%	24,992.92	0.40%	2,408.23
4305800 · Loading and Un - Mercuria	19,133.28	0.61%	110,774.55	1.78%	-91,641.27
4305900 · Loading and Un - Mitsubishi	911.07	0.03%	33,571.52	0.54%	-32,660.45
4306000 · Loading and Un - GE	0.00	0.00%	126,723.68	2.04%	-126,723.68
4306100 · Loading and Un - Anderson	53,189.43	1.70%	185,389.27	2.98%	-132,199.84

Port of Oswego Authority  
**YTD Sales Report**  
April through November 2023

	<u>Apr - Nov 23</u>	<u>%</u>	<u>Apr - Nov 22</u>	<u>%</u>	<u>\$ Change</u>
4306300 · Loading and Un - Kuehne&Nagel	6,765.00	0.22%	180,725.79	2.90%	-173,960.79
4306400 · Loading and Un - Spliethoff	15,987.53	0.51%	0.00	0.00%	15,987.53
4306500 · Loading and Un - DSV Air & Sea	12,164.47	0.39%	0.00	0.00%	12,164.47
<b>Total 4300000 · Loading and Unloading</b>	<b>335,413.52</b>	<b>10.69%</b>	<b>1,141,152.27</b>	<b>18.34%</b>	<b>-805,738.75</b>
<b>4400000 · Rental</b>					
4400200 · Rental - DeLong, Fred	3,000.00	0.10%	3,000.00	0.05%	0.00
4400300 · Rental - Novelis	16,971.68	0.54%	17,318.64	0.28%	-346.96
4400500 · Rental - General Svces Admin	70,830.40	2.26%	69,297.04	1.11%	1,533.36
4400600 · Rental - Lehigh (Heidelberg)	46,768.08	1.49%	46,985.44	0.76%	-217.36
4402400 · Rental - Vinegar Hill, LLC	10,736.24	0.34%	11,413.36	0.18%	-677.12
4402600 · Rental - Nutrien Ag	59,750.34	1.90%	58,002.72	0.93%	1,747.62
4403100 · Rental - H.Lee White Museum	2,400.00	0.08%	2,400.00	0.04%	0.00
4403300 · Rental - Fitzgibbons site	177,000.00	5.64%	141,000.00	2.27%	36,000.00
4403400 · Rental - Shark-Attach Office	3,400.00	0.11%	3,400.00	0.05%	0.00
4403500 · Rental - WT Terminal Oswego LLC	49,162.56	1.57%	48,000.00	0.77%	1,162.56
4403600 · Rental - Shop Units (Marina)	800.00	0.03%	700.00	0.01%	100.00
4405000 · Rental - Miscellaneous	800.00	0.03%	82,086.30	1.32%	-81,286.30
<b>Total 4400000 · Rental</b>	<b>441,619.30</b>	<b>14.08%</b>	<b>483,603.50</b>	<b>7.77%</b>	<b>-41,984.20</b>
<b>4500000 · Misc Income</b>					
4500100 · Misc Income - Weighing Trucks	0.00	0.00%	54.00	0.00%	-54.00
4500200 · Misc Income - Novelis	0.00	0.00%	13,915.00	0.22%	-13,915.00
4501700 · Misc Income - Finance Charges	0.00	0.00%	133.40	0.00%	-133.40
4501900 · Misc Income - Demurrage reimbur	1,050.00	0.03%	0.00	0.00%	1,050.00
4502000 · Misc Income - Labor	119,476.41	3.81%	92,805.60	1.49%	26,670.81
4502100 · Misc Income - Oversized cargo	0.00	0.00%	18,000.00	0.29%	-18,000.00
4504900 · Misc Income - Metered Water	188.92	0.01%	609.81	0.01%	-420.89
4505000 · Misc Income - Other	74,334.50	2.37%	799,191.65	12.84%	-724,857.15
4505400 · Misc Income - Security East	54,344.47	1.73%	149,458.92	2.40%	-95,114.45
4505600 · Misc Income - BIDCO	1,890.00	0.06%	0.00	0.00%	1,890.00
<b>Total 4500000 · Misc Income</b>	<b>251,284.30</b>	<b>8.01%</b>	<b>1,074,168.38</b>	<b>17.26%</b>	<b>-822,884.08</b>
<b>4600000 · Stevedoring</b>					
4601200 · Stevedoring - New Eng Steamship	15,000.00	0.48%	35,000.00	0.56%	-20,000.00
4601800 · Stevedoring - Marubeni	244,552.15	7.79%	246,668.93	3.96%	-2,116.78
4601900 · Stevedoring - Glencore	235,102.01	7.49%	15,231.96	0.24%	219,870.05
4602400 · Stevedoring - Goldman Sachs	149,555.15	4.77%	25,389.99	0.41%	124,165.16
4602500 · Stevedoring - IXM	277,908.68	8.86%	79,987.59	1.29%	197,921.09
4602600 · Stevedoring - McKeil Marine	4,675.00	0.15%	5,090.00	0.08%	-415.00
4602700 · Stevedoring - Mercuria	90,949.84	2.90%	378,007.19	6.08%	-287,057.35
4602800 · Stevedoring - Mitsubishi	0.00	0.00%	116,792.10	1.88%	-116,792.10
4602900 · Stevedoring - Alcoa	0.00	0.00%	92,740.00	1.49%	-92,740.00
4603000 · Stevedoring - Kuehne&Nagel	0.00	0.00%	285,339.66	4.59%	-285,339.66
4605000 · Stevedoring - Miscellaneous	4,742.89	0.15%	0.00	0.00%	4,742.89
4605400 · Stevedoring - Vestas	0.00	0.00%	294,498.83	4.73%	-294,498.83
4605900 · Stevedoring - GE	0.00	0.00%	21,011.73	0.34%	-21,011.73
4606000 · Stevedoring - Ashton Marine	0.00	0.00%	2,500.00	0.04%	-2,500.00
<b>Total 4600000 · Stevedoring</b>	<b>1,022,485.72</b>	<b>32.59%</b>	<b>1,598,257.98</b>	<b>25.69%</b>	<b>-575,772.26</b>
<b>4750000 · Profit Share</b>					
4751000 · Profit Share - Castalooop	0.00	0.00%	400,000.00	6.43%	-400,000.00
<b>Total 4750000 · Profit Share</b>	<b>0.00</b>	<b>0.00%</b>	<b>400,000.00</b>	<b>6.43%</b>	<b>-400,000.00</b>
<b>4800000 · Marina Income</b>	<b>666,915.25</b>	<b>21.26%</b>	<b>853,952.99</b>	<b>13.72%</b>	<b>-187,037.74</b>
<b>Total Income</b>	<b>3,137,328.69</b>	<b>100.00%</b>	<b>6,222,034.00</b>	<b>100.00%</b>	<b>-3,084,705.31</b>